



MGA
SCIMS

- NOTES:
- DIMENSIONS AND AREAS ARE SUBJECT TO FINAL SURVEY AND COUNCIL APPROVAL
 - FURTHER EASEMENTS, RESTRICTIONS AND POSITIVE COVENANTS MAY BE IMPOSED BY COUNCIL OR OTHER AUTHORITIES DURING THE APPROVAL PROCESS



PLAN OF PROPOSED SUBDIVISION

VER	BY	AMENDMENTS	DATE
A	BC	ORIGINAL ISSUE	22-05-2023
B	BC	LOTS UPDATED TO SUPERLOTS	31-05-2023
C	BC	ANNOTATION ON EASEMENTS	05-06-2023
D	BC	REVISED BDY OF LOT 9/ROAD	06-09-2023
E	BC	REVISED BDY OF LOT 4	09-04-2024
F	BC	REVISION TO EASEMENT NOTES	01-08-2024
G	BC	REVISION TO LOT 16	18-10-2024

BW Beveridge Williams
Development and Infrastructure Consultants

(02) 46255055 www.beveridgewilliams.com.au

CLIENT:
LANDCOM

PROJECT: LOTS 1 TO 8 IN DP7677,
LOTS 19 TO 22 IN DP6793,
LOT 1 IN DP326181, LOT 1 IN DP83742
AND LOT 1 IN DP595930
27-29 HOSPITAL ROAD, BULLI

ORIGINAL
SCALE
1:1000

SHEET SIZE
A3

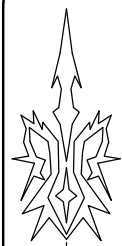
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SURVEY DATE:	N/A
CAD REFERENCE:	2300259-PS

SHEET 1 OF 3

PROJECT No.
2300259

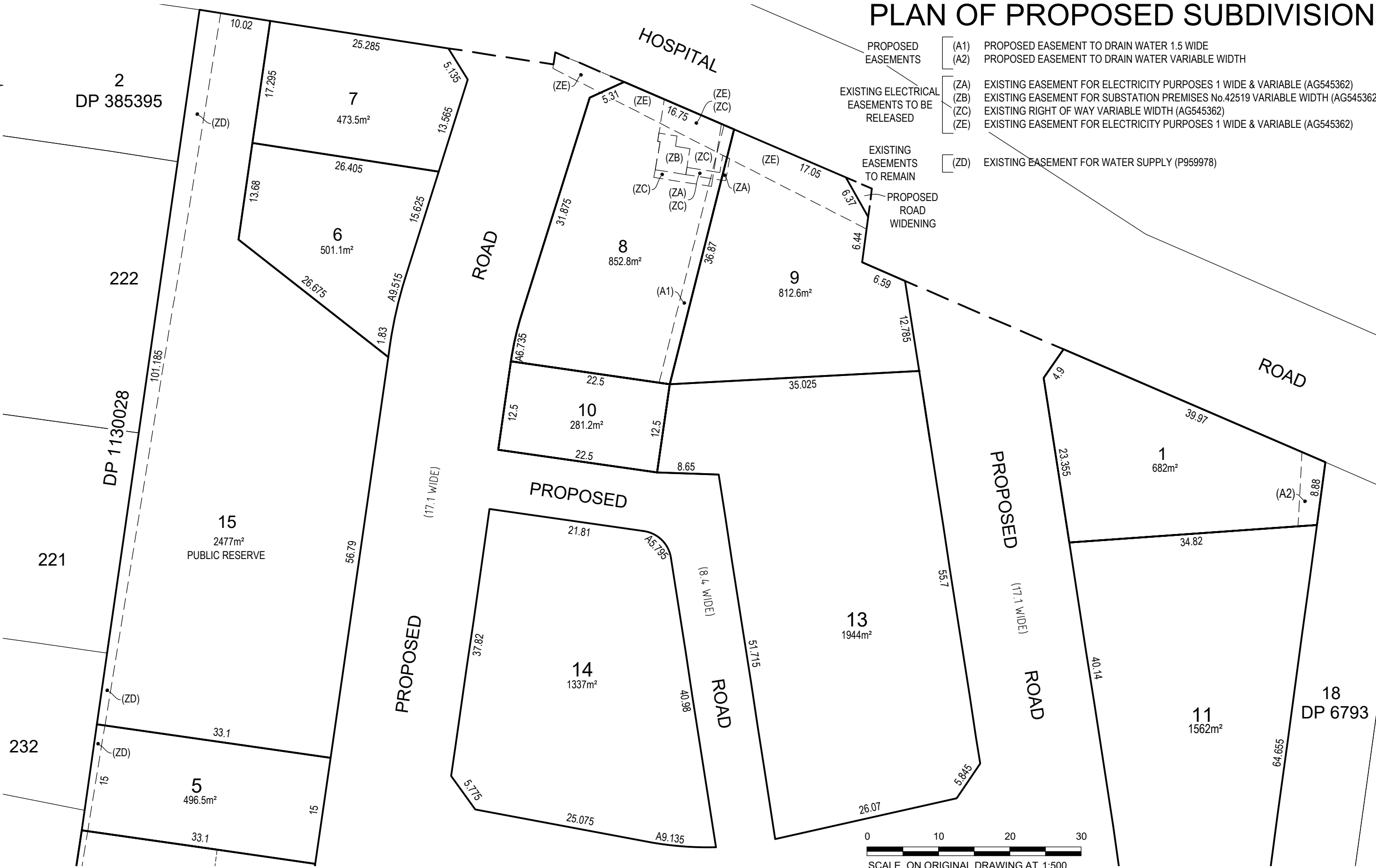
DRAWING REF.
2300259-PS

VERSION
G



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SHEET 2 OF 3

PROJECT No. 2300259
DRAWING REF. 2300259-PS
VERSION G



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- PROPOSED EASEMENTS

(A1)

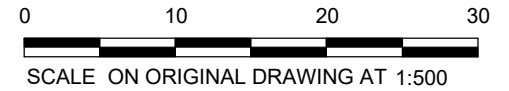
(B)

(C)


PROPOSED EASEMENT TO DRAIN WATER 1.5 WIDE
PROPOSED RIGHT OF CARRIAGE WAY 5.5 WIDE
PROPOSED EASEMENT FOR SERVICES 5.5 WIDE
- EXISTING EASEMENTS TO REMAIN

(ZD)

EXISTING EASEMENT FOR WATER SUPPLY (P959978)



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OLD BULLI HOSPITAL

LANDSCAPE MASTERPLAN

ACKNOWLEDGEMENT TO COUNTRY

‘In the spirit of reconciliation Taylor Brammer Landscape Architects acknowledges the Traditional Custodians of country throughout Australia and their connections to land, sea and community.

We pay our respect to their elders past and present and extend that respect to all Aboriginal and Torres Strait Islander peoples today.’

ISSUE AUTHORISATION

Document Title: Old Bulli Hospital Landscape Master Plan
Project No: 22-112
Prepared for: Landcom
Prepared: SH/EE/HK
Reviewed: JH

DOCUMENT/STATUS REGISTER

Issue	Date	Purpose Written	Approved
01	12.05.2023	Preliminary Issue for Review	JH
02	18.05.2023	Preliminary Issue for Review	JH
03	24.07.2023	Final Review	JH
04	07.08.2023	Final Review	JH
05	24.08.2023	DA Submission	JH
06	12.09.2023	Final Review	JH
07	14.09.2023	Final Review	JH
08	27.09.2023	Final Review	JH
09	19.10.2023	Final Review	JH
10	31.10.2023	Final Review	JH
11	22.10.2024	DA Resubmission	JH
12	04.04.2025	DA Resubmission	JH
13	08.04.2025	DA Resubmission	JH

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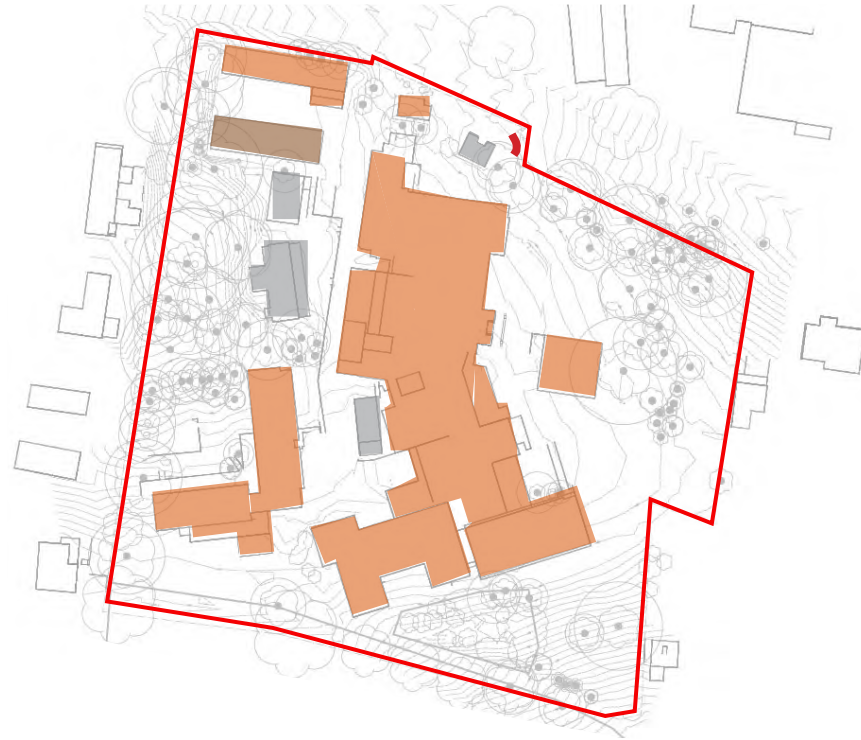
1.1 Context



Regional



Local



- Site Boundary
- Brick structures
- ⤿ Brick entry wall
- Weatherboard structures
- Corrugated steel structure

2.1 Built Form



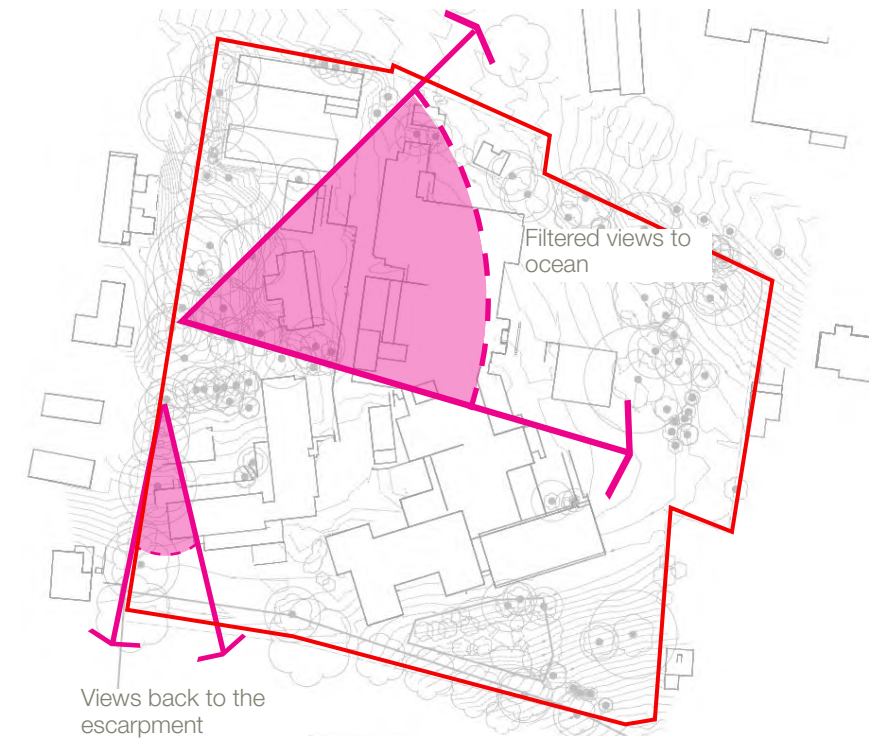
- Site boundary
- Significant trees to be considered for retention

2.3 Trees



- Site boundary
- ⤿ Key existing pedestrian connection

2.2 Connections



- Site boundary
- ⤿ Key views

2.4 Views

LIST OF CHANGES

22.10.2024 – Analysis plan 2.3 updated to include additional trees retained in response to Wollongong City Council's RFI dated 2 August 2024

DESIGN REVIEW PANEL ADVICE (DECEMBER 2022)

On the 8th December 2022 a Design Review Panel was held to seek feedback on initial concept designs across the project team and consultants. The landscape presentation to the DRP included an introduction to the site, site analysis, an overview of the opportunities and constraints and the presentation of two initial concept designs based on the potential open space scenarios. The DRP provided the following feedback to be considered in design development:

- | | |
|--|---|
| OPEN SPACE AND LANDSCAPING | HERITAGE |
| <ul style="list-style-type: none">Strongly supported the retention of significant treesRetaining the existing informal community access through the sitePublic spaces be fully accessible off public streets | <ul style="list-style-type: none">Celebrate the site’s historyRecycling and repurposing site materials |

This feedback was carried through to design development, with the existing significant trees celebrated and retained, accessibility thoughtfully considered within the limitations of maintaining existing ground levels around significant trees, and a thoroughfare pedestrian network connecting Hospital Road and Dumbrell Road (refer to 3.5 Design Principles). Feedback by the DRP on Heritage was considered alongside the Historical Heritage Assessment report by Austral Archaeology (2023) and this is evident in 3.4 Interpretation of Former Use.

COMMUNITY CONSULTATION (4 FEBRUARY 2023)

On Saturday 4 February 2023, Landcom held a second community information and feedback session in Bulli to share draft design concepts, provide an update on planned works, and invite community feedback to inform planning for the site. Landcom staff and technical consultants were available to answer questions and record feedback and comments.

Forty-six people attended the session. Attendees could provide comments on the three draft design concepts, features they would like to see in proposed open space, ways the site’s history could be interpreted, and the planned works.

There were mixed views about the draft design concepts, with general preference for the concept with the lowest dwelling count (Concept A). There was also support for a mix of housing types to provide more affordable options and to provide more housing. There is widespread concern about future development exacerbating traffic issues on Hospital Road and parking constraints associated with the hospital. While a number of people recognise that well designed housing on the site is appropriate and will benefit the community, others oppose housing and want the site to be used for community facilities, open space or car parking.



Preferred layout from community consultation (concept A)

LIST OF CHANGES
22.10.2024 – Plan updated to include additional trees retained in response to Wollongong City Council’s RFI dated 2 August 2024

The plan beside shows the proposed development layout with a connective road from the original entrances linking the entire site.

Based on feedback from the community consultation, the western precinct and southern precinct have been allocated as open space, with a pedestrian corridor throughout to connect the local community.

The western precinct includes numerous significant trees and filtered views, east to the coast and south-west to the escarpment. The southern precinct has a number of significant trees to the southern boundary providing a sense of site enclosure to the lower boundary of the site. The existing entrance is to include signage and retaining walls supported by mass planting.



LIST OF CHANGES
04.04.2025 – Plan updated to include additional trees retained and show additional trees removed in response to Wollongong City Council’s comments on change of use of Hilltop Park

NOTE: All lot boundaries and driveways shown are indicative only. Lots are to be sold as super lots and lot boundaries and driveways are subject to change.



All existing trees have been coordinated with the Arborist report, as prepared by Allied Tree Consultancy (dated: August 2023).

04.04.2025 – Plan updated to include additional trees retained at the Hill Top Park in response to Wollongong City Council's comments.

3.0 Landscape Approach

3.4 Interpretation of Former Use

The following Heritage Interpretation is to be read in conjunction with the 'Historical Heritage Assessment' report by Austral Archaeology dated June 2023. Key findings from the report, alongside observations from site inspections, have informed the adjacent plan. The plan highlights opportunities within the landscape to effectively convey and commemorate the historical themes associated with the site.

The report notes that the site does not appear to have any identified heritage register at national, state or local level, however there is varying degrees of historical values. It was concluded that the only known value related to one phase of use "The Bulli Cottage Hospital". Built in 1892 and demolished in 1945. The exact location of this cottage on site is unknown.

The history detailed in the report for the Bulli Cottage Hospital is unique to the local context. The hospital was first established from a local committee that banded together following the 1887 Bulli Colliery Explosion (pg. 16-21). Another key finding from the report is the significance of the trees to the western edge of the site, which are recorded in the aerial photographs dating back to 1948.

Subsequent site inspections revealed the significant use of brick for many of the buildings. Brick evokes the story of community initiative and donation, as the building blocks for the hospital included bricks that were donated (pg.7). Unique forms of bricks can be seen in the variety of chimneys that dominate the skyline, along with the walls and pillars to the entrance gates to the old hospital.

To acknowledge the rich history of site into the future, where possible, some bricks from the site will be reclaimed for reuse within walls, garden beds and entry pillars. Interpretive signage throughout site will inform the community of the significance of the site, trees and celebrate key views.



LIST OF CHANGES

04.04.2025 – Plan updated to include a updated design to the Hill Top Park in response to Wollongong City Council's comments.

NOTE: All lot boundaries and driveways shown are indicative only. Lots are to be sold as super lots and lot boundaries and driveways are subject to change.

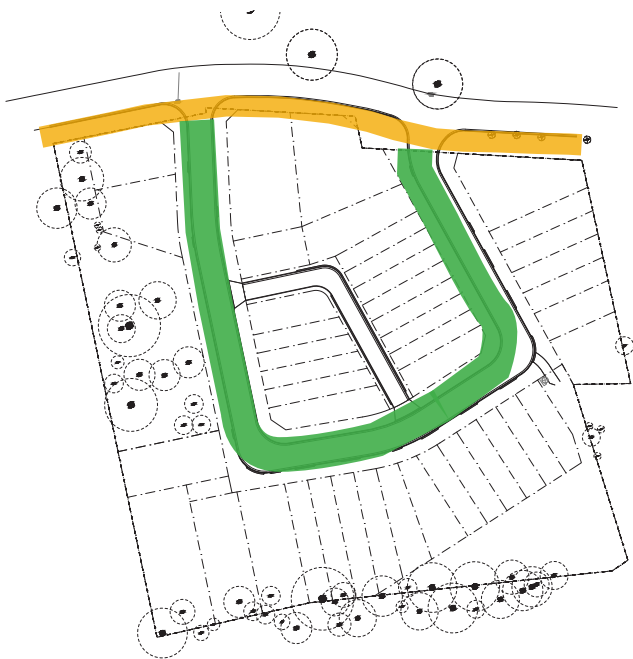
TaylorBrammer



LEGEND

- Open Space – Informal
- Entry threshold
- Screen planting
- Primary pedestrian connections
- Secondary pedestrian connection
- Tertiary pedestrian connection

STREET TREE STRATEGY



- Continue *Melaleuca* planting
- Native evergreen street tree planting

LIST OF CHANGES
04.04.2025– Plan updated to removed activation from Hilltop Park as requested by Wollongong City Council

NOTE: All lot boundaries and driveways shown are indicative only. Lots are to be sold as super lots and lot boundaries and driveways are subject to change.

LEGEND

	Site Boundary
	Existing Contour
	Proposed Contour
	APZ

Softscapes

	Mass Planting
	Turf
	Existing Tree Retained
	Proposed Tree
	Proposed Street Tree

Hardscapes

	Feature Pillar
	Brick Faced Retaining Wall
	Sandstone Retaining Wall
	Raised Boardwalk
	Concrete Footpath
	1200mm Balustrade Fence

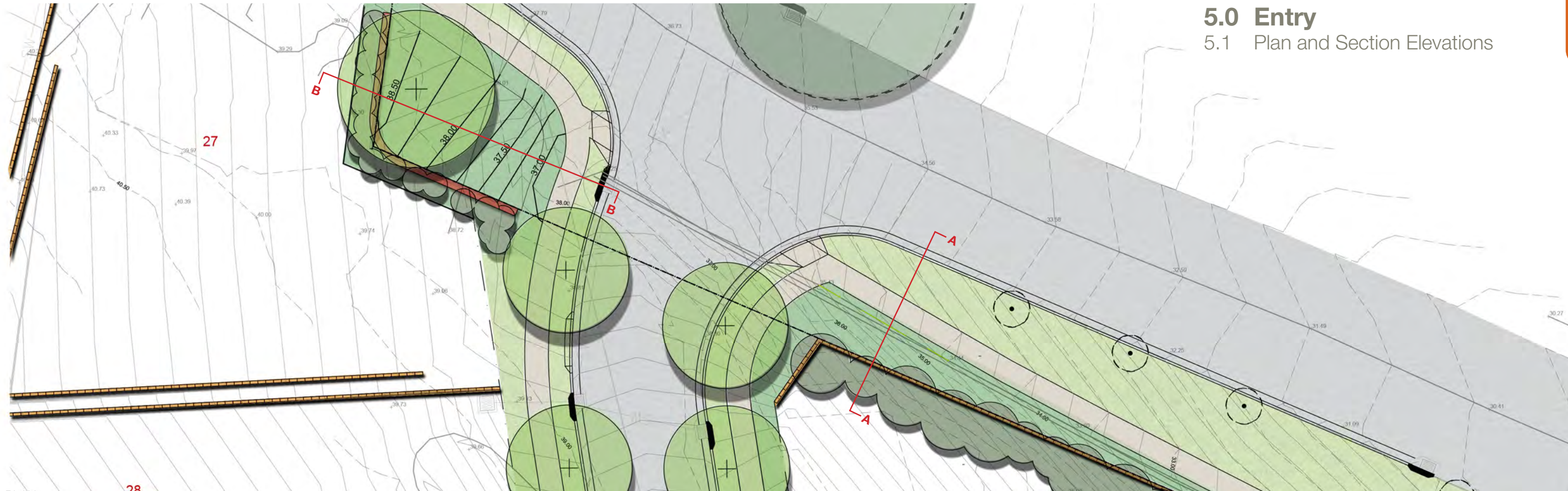
DIALOGUE

- 1 Planting along retaining wall softens the appearance of the retaining from the road, with cascading plants screening the wall and shrubs and small trees screening lot boundary fences.
- 2 Brick entry wall alludes to the site's historical use through its materiality and form. The use of additional planting helps to soften the entry and reestablish the existing look and feel of the site.
- 3 2.5m high brick retaining wall with a 1200mm high balustrade. The wall to be clad in with bricks reclaimed from site and subject to Council consent as there is an opportunity to install interpretive signage on the wall relating to the sites past use.
- 4 Existing trees to be retained in grass and maintained in accordance with the bush fire report recommendations
- 5 Driveway locations thoughtfully placed to ensure greatest street tree planting.
- 6 Stairs from new road to Dumbrell Road maintains pedestrian connection through site.
- 7 Turfed open space with sandstone seating walls accomodating informal recreation and exercise surrounded by small areas of native planting.

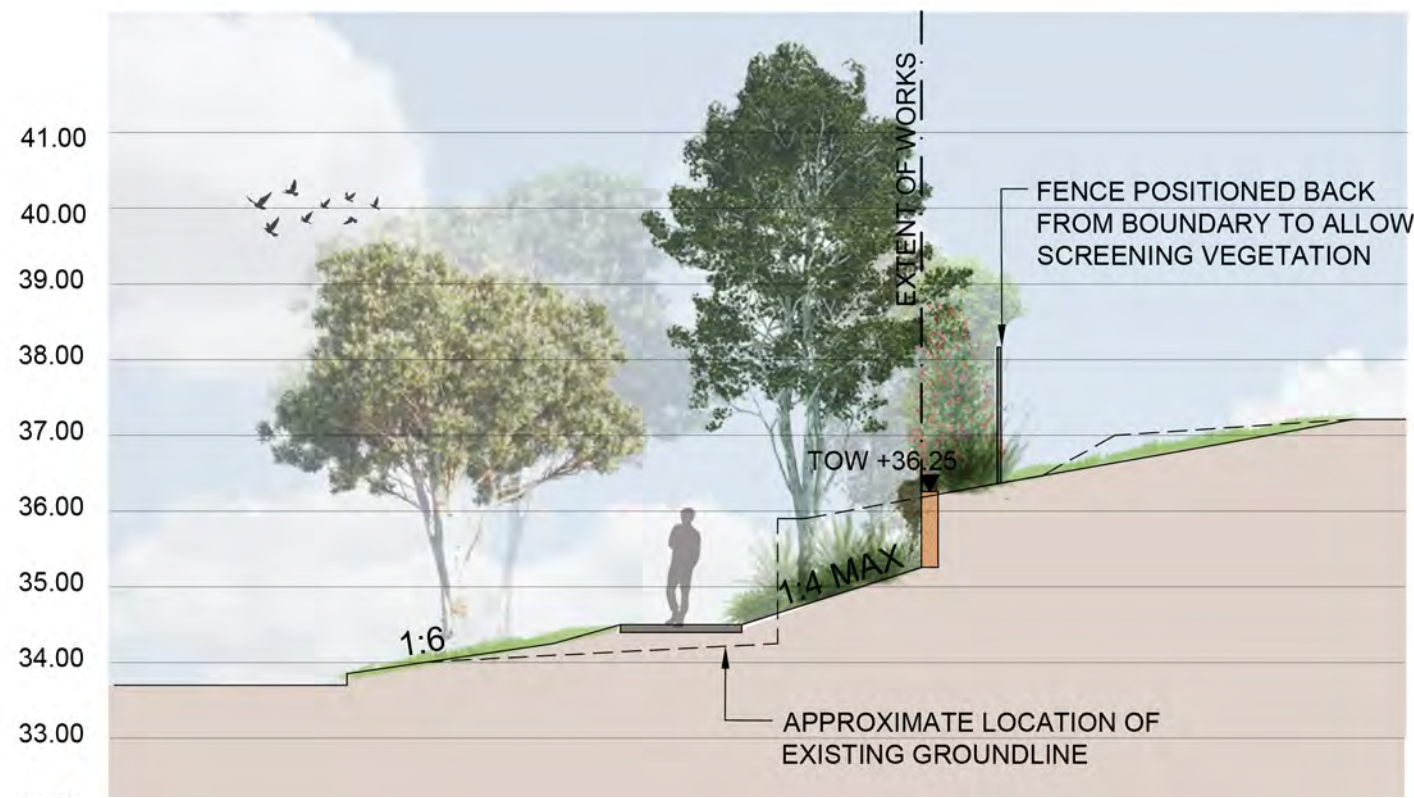
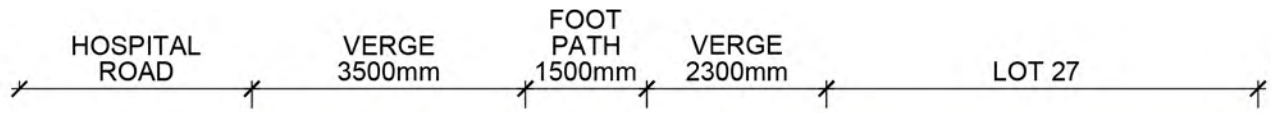
LIST OF CHANGES

04.04.2025 Plan updated to remove elements from Hilltop Park between retaining walls and replace with turf as requested by Council

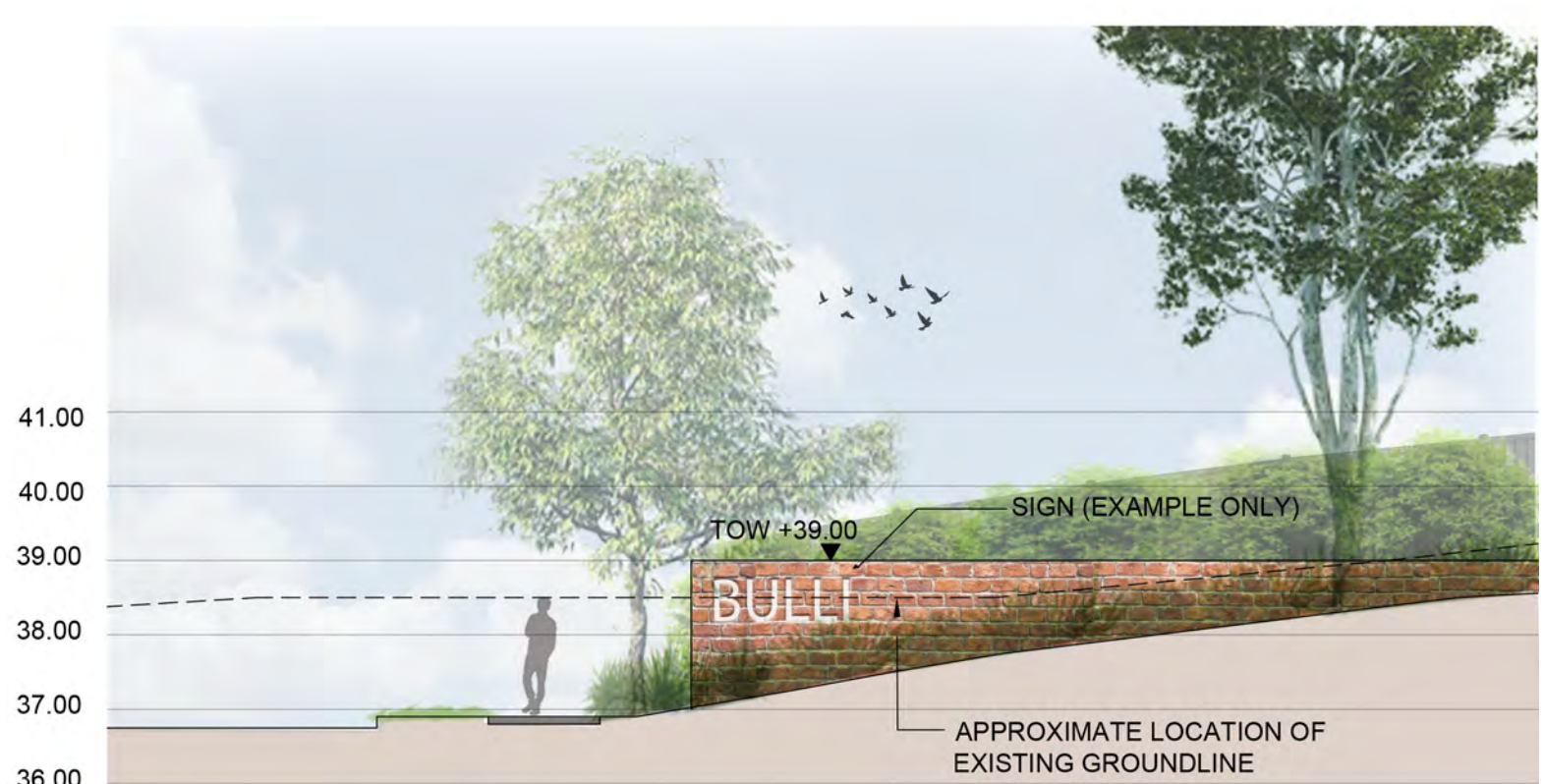
5.0 Entry
5.1 Plan and Section Elevations



PLAN
1:250

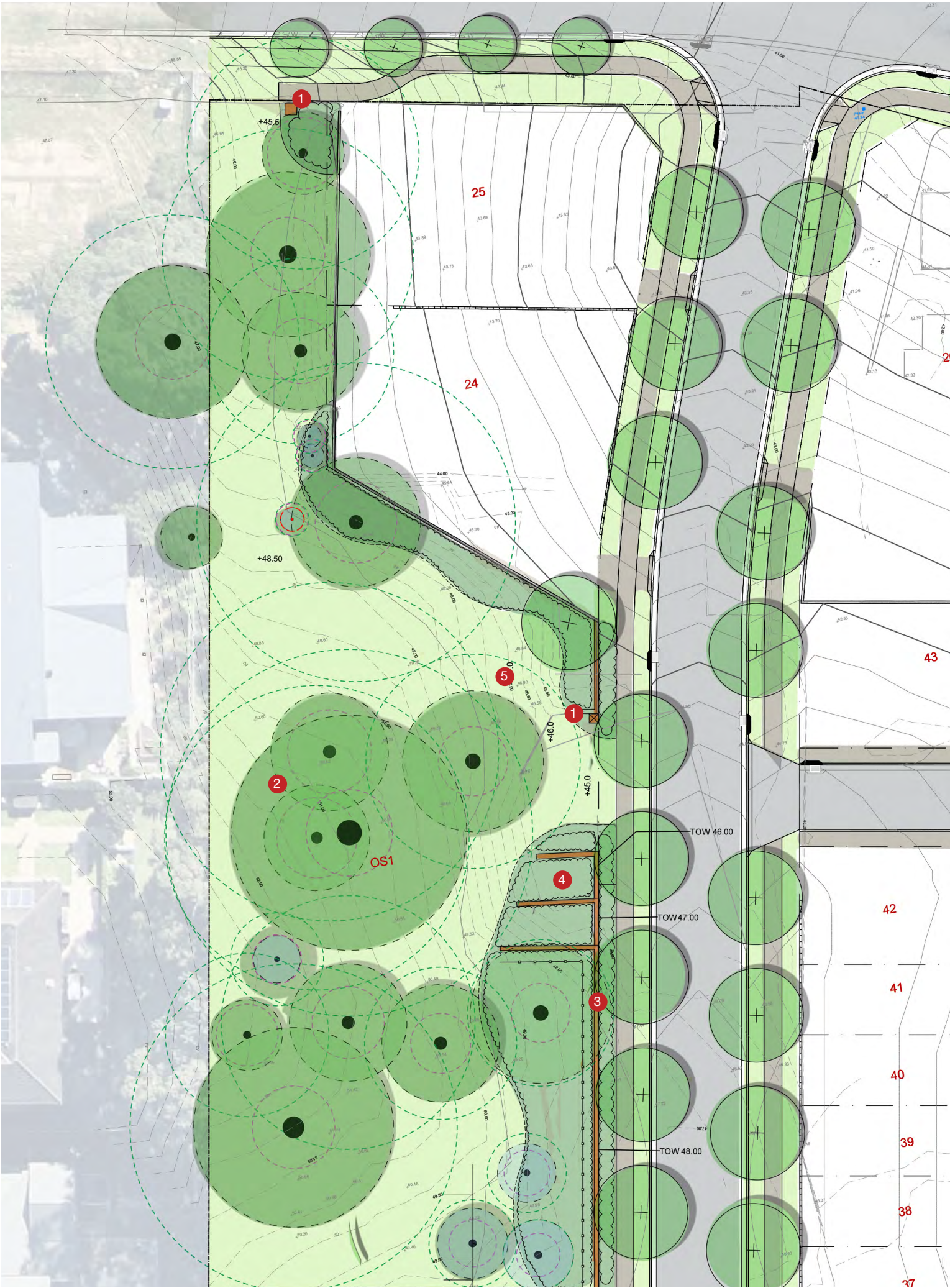


SECTION ELEVATION AA
1:100



SECTION ELEVATION BB
1:100

LIST OF CHANGES
22.10.2024 – Plan and section elevations update to reflect the new design to the front entry of the site.



DIALOGUE

- 1 Brick pillar signifies entry to park and alludes to historic use of site by materiality and form.
- 2 Turf to be maintained under existing trees in accordance with the bush fire report recommendations
- 3 A 2.5m high retaining wall clad in brick salvaged from the site to acknowledge the sites past use. There is an opportunity to provide additional interpretive signage on the wall. The wall to include a 1.2m high balustrade installed around the edge for public safety. This will be located in the garden bed to reduce maintenance
- 4 Terraced walls to match the existing grades of the park
- 5 A 1:5 turfed embankment allows for easy maintenance access into the Hilltop Park

IMAGERY



Potential to intengrate interpretive signage to the face of the retaining wall

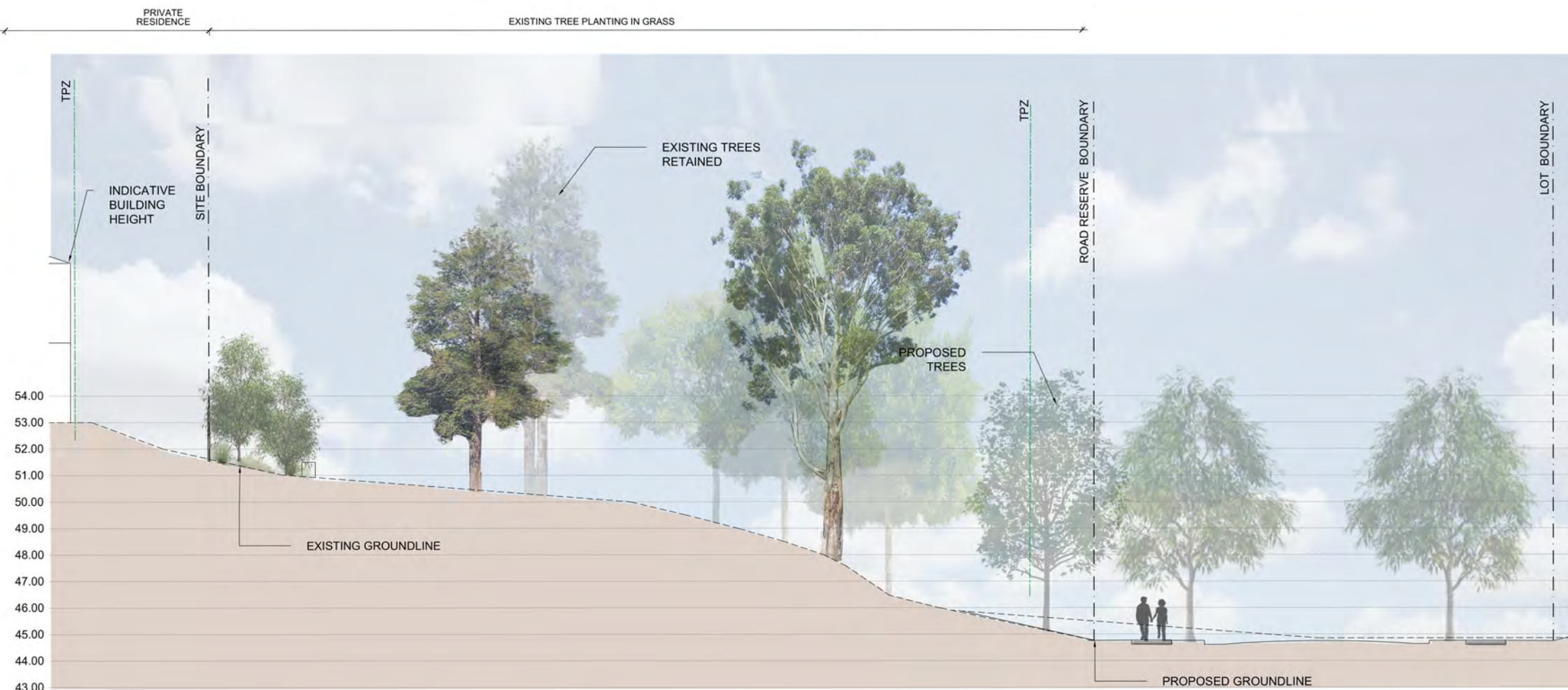


Interpretive features from old hospital displayed throughout park



Heritage bricks reused in retaining walls

LIST OF CHANGES
04.042025 – Remove playground, access and viewing decks as directed by Wollongong City Council. Added 2.5m wall to retain existing trees.



SECTION/ ELEVATION AA
1:200



KEY PLAN



SECTION/ ELEVATION BB
1:200

0 1 2 4 6m

LIST OF CHANGES
04.04.2025– Nature play, accessible ramps and viewing deck removed as instructed by Wollongong City Council

DIALOGUE

- 1 Brick pillar signifies entry to park and alludes to historic use of site by materiality and form.
- 2 Elevated stairs continue material as used in Hilltop Park and connect Dumbrell Road to new road.
- 3 Dense screening along eastern site boundary creates a visual screen between Southern Basin and surrounding residents.
- 4 Turfed open space with sandstone log seating to also accomodate informal exercise
- 5 Maintenance access utilises existing road to ensure minimal changes of ground level under existing trees.
- 6 Low groundcovers planted on terrace in accordance with bush fire report recommendations.
- 7 Blue dashed line marks APZ extent from southern boundary. The planting within this extent align with APZ requirements as per Peterson Bushfire report dated 23 August 2023.

IMAGERY



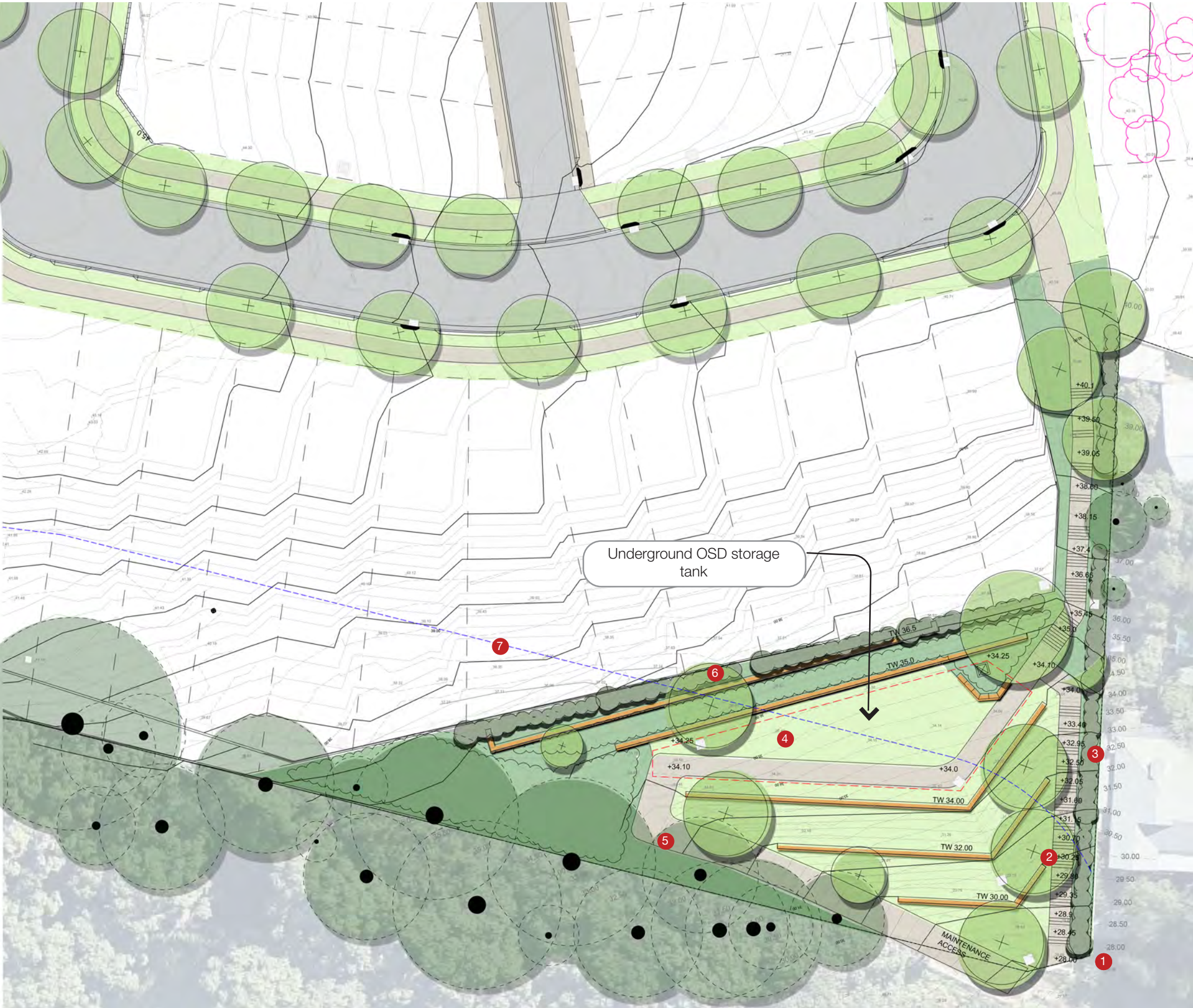
Proposed sandstone retaining walls



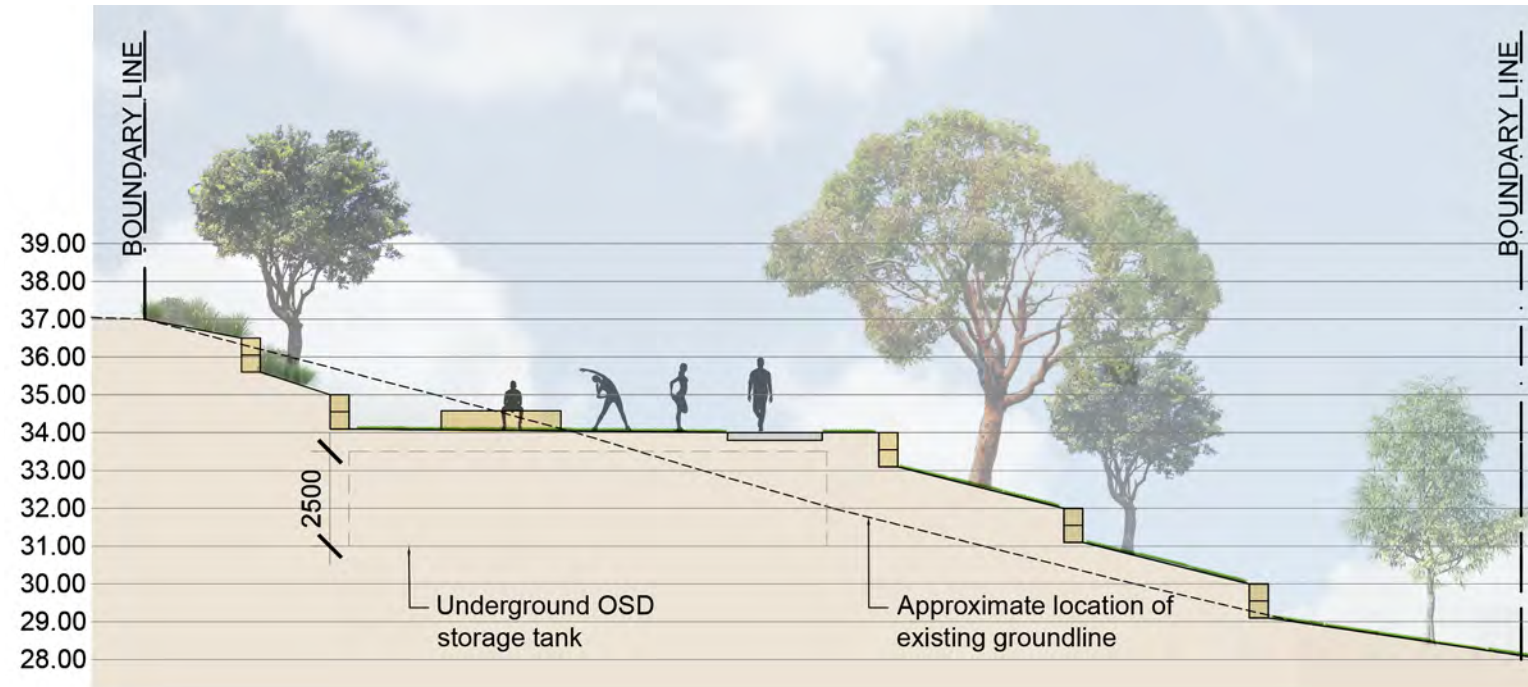
Entry pillar included at base of stairs



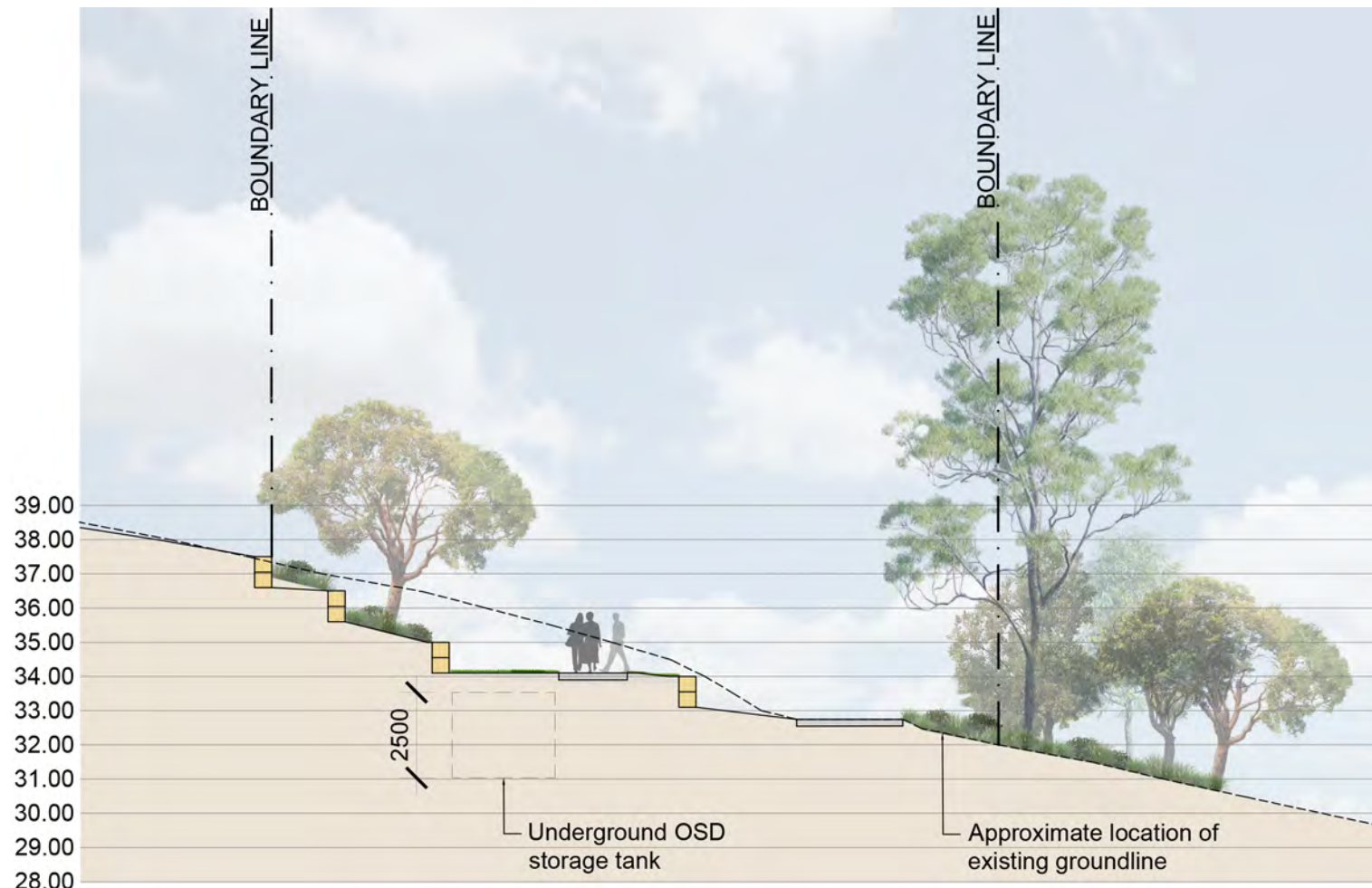
Stair access to site



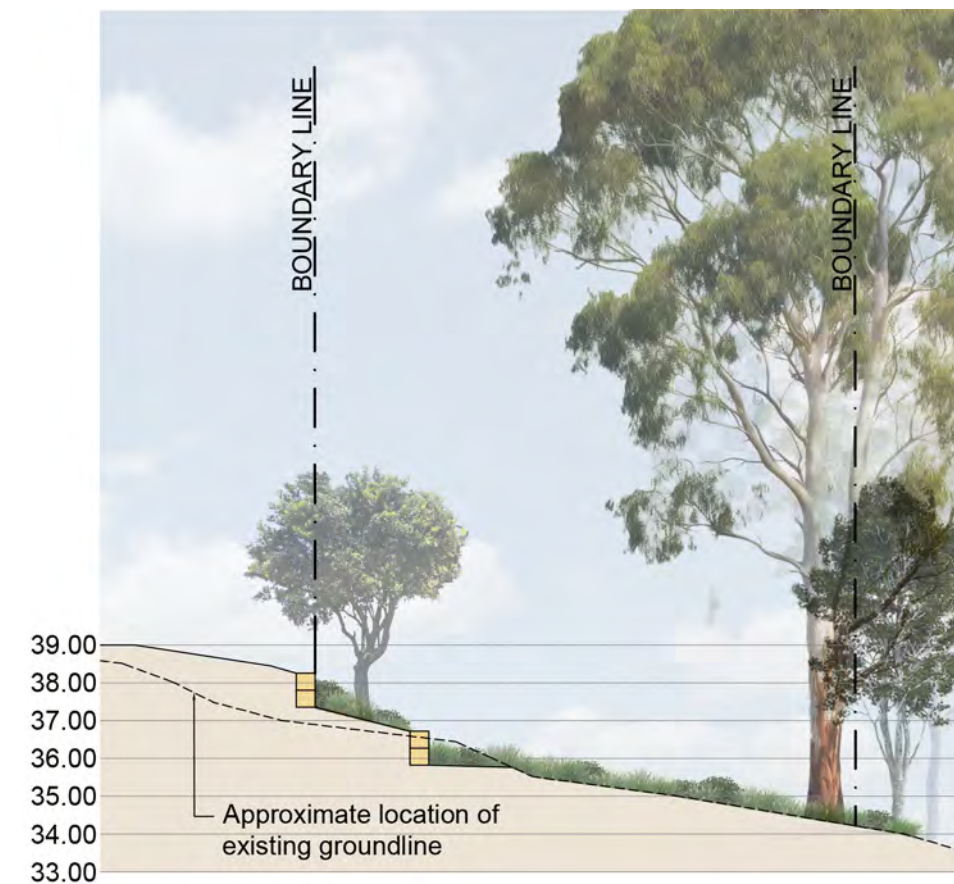
LIST OF CHANGES
04.04.2025 – Southern open space updated to remove planting between retaining walls. Grass slopes are shown with a max 1:4 grade as requested by Wollongong City Council



SECTION/ ELEVATION AA
1:200



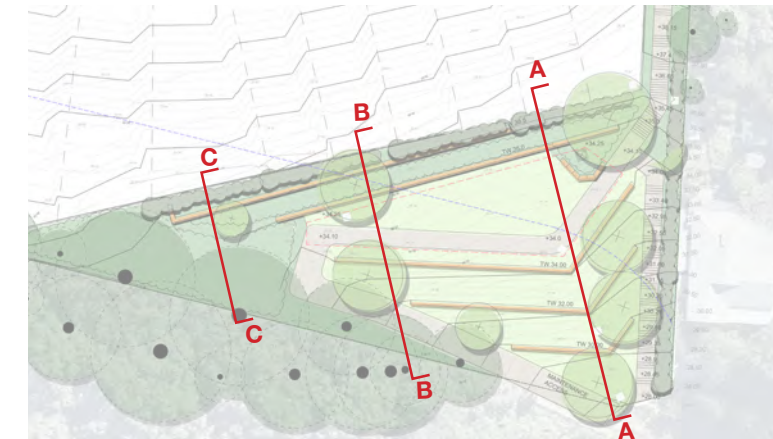
SECTION/ ELEVATION BB
1:200



SECTION/ ELEVATION CC
1:200

LIST OF CHANGES

04.04.2025 – Southern open space updated to remove planting between retaining walls. Grass slopes are shown with a max 1:4 grade as requested by Wollongong City Council



KEY PLAN

Pathway

- Design:
- Concrete pathways to streetscapes to comply with councils DCP.
- Materials:
- Concrete pathway



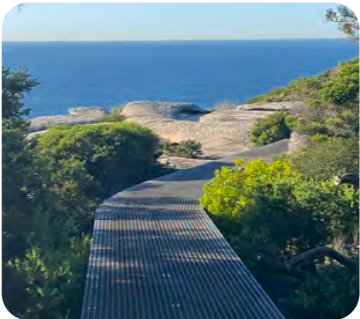
Seating

- Design:
- Provide large format seating
 - Additional space for larger groups of people and pedestrians to pass comfortably
- Materials:
- Sandstone log



Raised Walkway

- Design:
- Permeability to allow for water to pass through and drain naturally
 - Minimal disturbance to the ground
 - Level surface for pedestrians that does not impact existing tree roots
- Materials:
- Fibreglass composite flooring
 - Structural steel framing



Signage

- Design:
- Directional signage will be placed strategically across the site at walkway intersections
 - Interpretation signage will be placed at viewing and seating areas
- Material:
- Marine Grade Stainless steel panels fixed to the balustrade
 - Large format steel panels



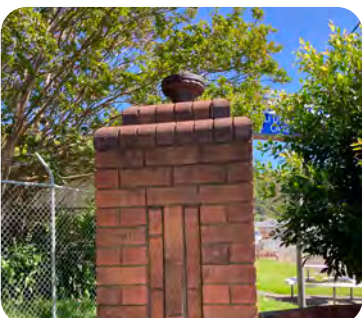
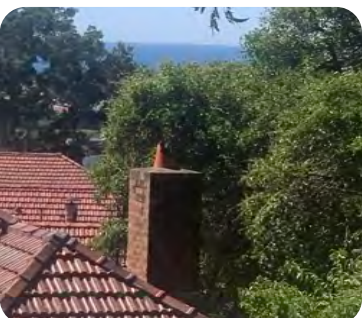
Retaining Walls

- Design:
- Type: Brick clad Enginnered block wall (Hilltop Park)
 - Type: Sandstone Wall (Southern Basins)
 - Size: Varies
- Materials:
- Bricks (reused from original building) used to clad wall
 - Sandstone blocks, 1500mm x 500mm x 500mm



Interpretive Features

- Design:
- Reuse of Interpretive featurss in the landscape
 - Reuse of material in landscape
- Material:
- Brick
 - Terracotta

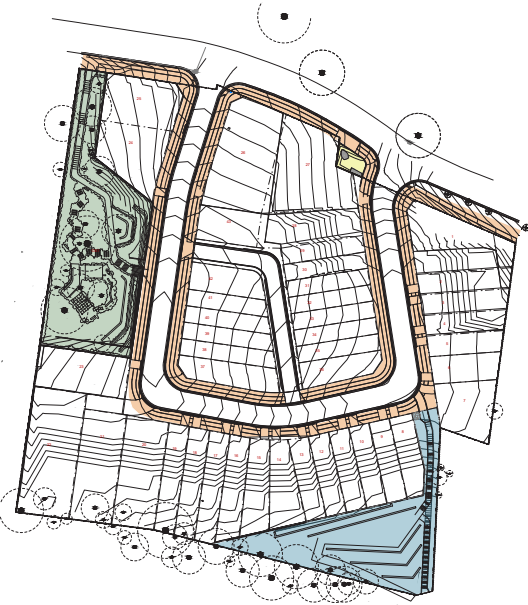


Stairs

- Design:
- Stairs will be implemented at locations where there are level changes in the path of travel
 - Permeability to allow for water to pass through and drain naturally
 - Large stair landings to assist with pram and wheelchairs
 - In accordance with AS1428.1
- Materials:
- Fibreglass composite treads at 300x150mm or 750 x 150 mm
 - Structural steel framing
 - Concrete



PLANTING STRATEGY



The street trees proposed have been selected to align with the existing character of the site. *Melaleuca styphelioides* is proposed along Hospital Road as an extension of the existing *Melaleuca styphelioides* planted in front of the retaining wall. *Waterhousea floribunda* is incorporated within the site due to it’s suitable size and form for the streetscape.

The planting within Hilltop Park celebrates the history of the site. The combination of selected species and the retention of significant trees strengthens the current identity of the site. Additionally, the inclusion of indigenous plants reflects the cultural values and significance of the landscape.

Plant species selected for the Southern Open Space complements the existing wildlife corridor that runs along the southern boundary. The retention of existing trees are under planted with native grasses and groundcovers and create an ecologically rich corridor whilst aligning with planting requirements within the Asset Protection Zone (see Bushfire Assessment by Peterson Bushfire dated 24 August 2023).

STREETSCAPE INDICATIVE PLANT LIST

TREES

BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH	CULTURAL USES	ENTRY	STREETSCAPE	HILLTOP PARK	SOUTHERN OPEN SPACE
<i>Acacia binervata</i>	Two-veined Hickory	8m - 10m	2m - 3m	Y				
<i>Acacia longifolia</i>	Sydney Golden Wattle	4m - 5m	2m - 3m					
<i>Acacia maidenii</i>	Maidens Wattle	6m - 8m	2m - 3m					
<i>Allocasuarina torulosa</i>	Forest Oak	8m - 10m	0.7 - 0.9m					
<i>Banksia integrifolia</i>	Coast Banksia	8m - 10m	5m - 6m					
<i>Banksia serrata</i>	Old Man Banksia	6m - 8m	3m - 4m					
<i>Brachychiton acerifolius</i>	Flame Tree	10m - 13m	2m - 4m					
<i>Casuarina glauca</i>	Swamp Oak	10m - 13m	2m - 4m					
<i>Diospyros australis</i>	Black Plum	8m - 10m	3m -5m	Y				
<i>Elaeocarpus reticulatus</i>	Blueberry Ash	8m - 10m	3m - 4m	Y				
<i>Melaleuca linarifolia</i>	Flax Leaf Paperbark, Snow in Summer	6m - 8m	6m - 7m	Y				
<i>Melaleuca styphelioides</i>	Prickly Paper Bark	*10m - 13m	3m - 4m					
<i>Podocarpus elatus</i>	Illawarra Plum, Plum Pine	10m - 13m	6m - 7m	Y				
<i>Syzygium australe</i>	Brush Cherry	6m - 8m	3m - 4m	Y				
<i>Toona ciliata</i>	Red Cedar	13m - 15m	2m - 4m					
<i>Tristaniopsis laurina 'Luscious'</i>	Water Gum	8m - 10m	4m - 5m					
<i>Waterhousea floribunda</i>	Weeping Lilly Pilly	13m - 15m	9m - 10m	Y				

SHRUBS

BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH	CULTURAL USES	ENTRY	STREETSCAPE	HILLTOP PARK	SOUTHERN OPEN SPACE
<i>Acmena smithii</i>	Lilly Pilly	6m - 8m	3m - 4m	Y				
<i>Crinum pedunculatum</i>	Swamp Lily	1m - 1.5m	1.5m					
<i>Homalanthus stillingiiifolius</i>	Small Leaved Bleeding Heart	1m - 1.5m	0.4 - 0.9m					
<i>Prostanthera incisa</i>	Cut-leaved Mint Bush	1.5m - 2m	1m - 1.5m	Y				
<i>Telopea speciosissima</i>	Waratah	1m - 1.5m	1m - 1.5m	Y				

LOW SHRUB (<1M)

BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH	CULTURAL USES	ENTRY	STREETSCAPE	HILLTOP PARK	SOUTHERN OPEN SPACE
<i>Callistemon citrinus</i>	Crimson Bottlebrush	*1-2m - 3m*	1 - 1.5m	Y				
<i>Olearia tomentosa</i>	Toothed Daisy Bush	0.6m	0.4 - 0.6m					
<i>Scaevola aemula 'Purple Fanfare'</i>	Fan Flower	0.3m	1m - 1.5m					



Acacia binervata



Acacia longifolia



Acacia maidenii



Allocasuarina torulosa



Banksia integrifolia



Banksia serrata



Brachychiton acerifolius



Casuarina glauca



Diospyros australis



Elaeocarpus reticulatus



Melaleuca styphelioides



Syzygium australe



Acmena smithii



Homalanthus stillingiiifolius



Prostanthera incisa



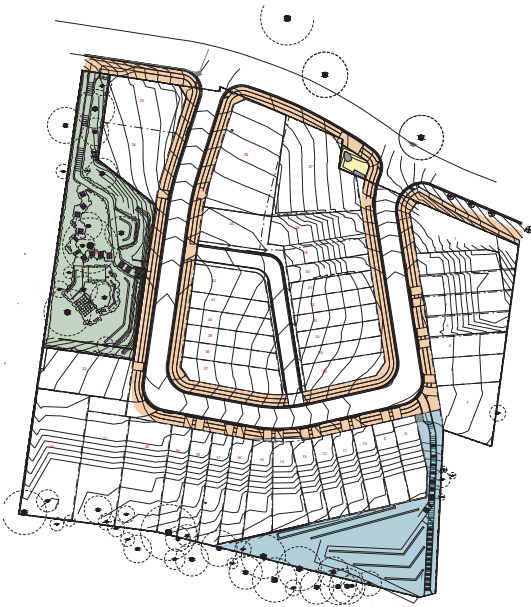
Callistemon citrinus



Olearia tomentosa



Scaevola aemula 'Purple Fanfare'



INDICATIVE PLANT LIST

GRASSES								
BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH	CULTURAL USES	ENTRY	STREETSCAPE	HILLTOP PARK	SOUTHERN OPEN SPACE
<i>Austrodanthonia var. racemosa</i>	Striped Wallaby Grass	0.6m	0.4 - 0.6m					
<i>Austrostipa ramosissima</i>		1m - 1.5m	0.7m -1m					
<i>Carex appressa</i>	Tall Sedge	1m	1m					
<i>Dianella caerulea</i>	Paroo Lily	0.8m	1m	Y				
<i>Gahnia sieberiana</i>	Red Fruited Saw Sedge	1m - 1.5m	1.5m	Y				
<i>Lomandra longifolia</i>	Mat Rush	1m	1m					
<i>Lomandra Tanika</i>	Mat Rush	0.5m	0.5m					
<i>Microlaena stipoides</i>	Weeping Grass							
<i>Poa labillardieri</i>	Tussock Grass	1m	1m					
<i>Poa sieberiana</i>	Grey Tussock Grass	1m	0.4 - 0.6m					
<i>Themeda australis</i>	Kangaroo Grass			Y				

FERNS								
BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH	CULTURAL USES	ENTRY	STREETSCAPE	HILLTOP PARK	SOUTHERN OPEN SPACE
<i>Adiantum aethiopicum</i>	Maidenhair Fern	0.4m	0.4 - 0.6m					
<i>Asplenium australasicum</i>	Bird's Nest Fern							
<i>Blechnum cartilagineum</i>	Gristle Fern	0.8m	0.4 - 0.6m	Y				
<i>Pteris umbrosa</i>	Jungle Brake	1m	1m					

GROUNDCOVERS								
BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH	CULTURAL USES	ENTRY	STREETSCAPE	HILLTOP PARK	SOUTHERN OPEN SPACE
<i>Dampiera purpurea</i>	Dampiera	1m	0.4 - 0.9m	Y				
<i>Goodenia ovata</i>	Hop Goodenia	1.5m - 2m	2m - 3m					
<i>Hardenbergia violaceae</i> 'Happy Wanderer'	Purple Coral Pea	0.2m		Y				
<i>Lobelia anceps</i>	Lobelia	0.5m	0.4m - 0.6m					
<i>Scaevola calendulacea</i>	Dune Fan Flower	0.4m	0.4 - 0.6m					
<i>Tetragonia tetragonoides</i>	Warrigal Spinach	0.2m	0.7 - 1.5m	Y				
<i>Viola hederacea</i>	Native Violet	0.2m	1m	Y				



Austrodanthonia var. racemosa



Austrostipa ramosissima



Dianella caerulea



Microlaena stipoides



Poa labillardieri



Themeda australis



Adiantum aethiopicum



Asplenium australasicum



Blechnum cartilagineum



Dampiera purpurea



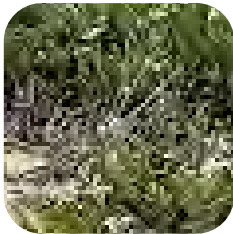
Goodenia ovata



Hardenbergia violaceae



Lobelia anceps



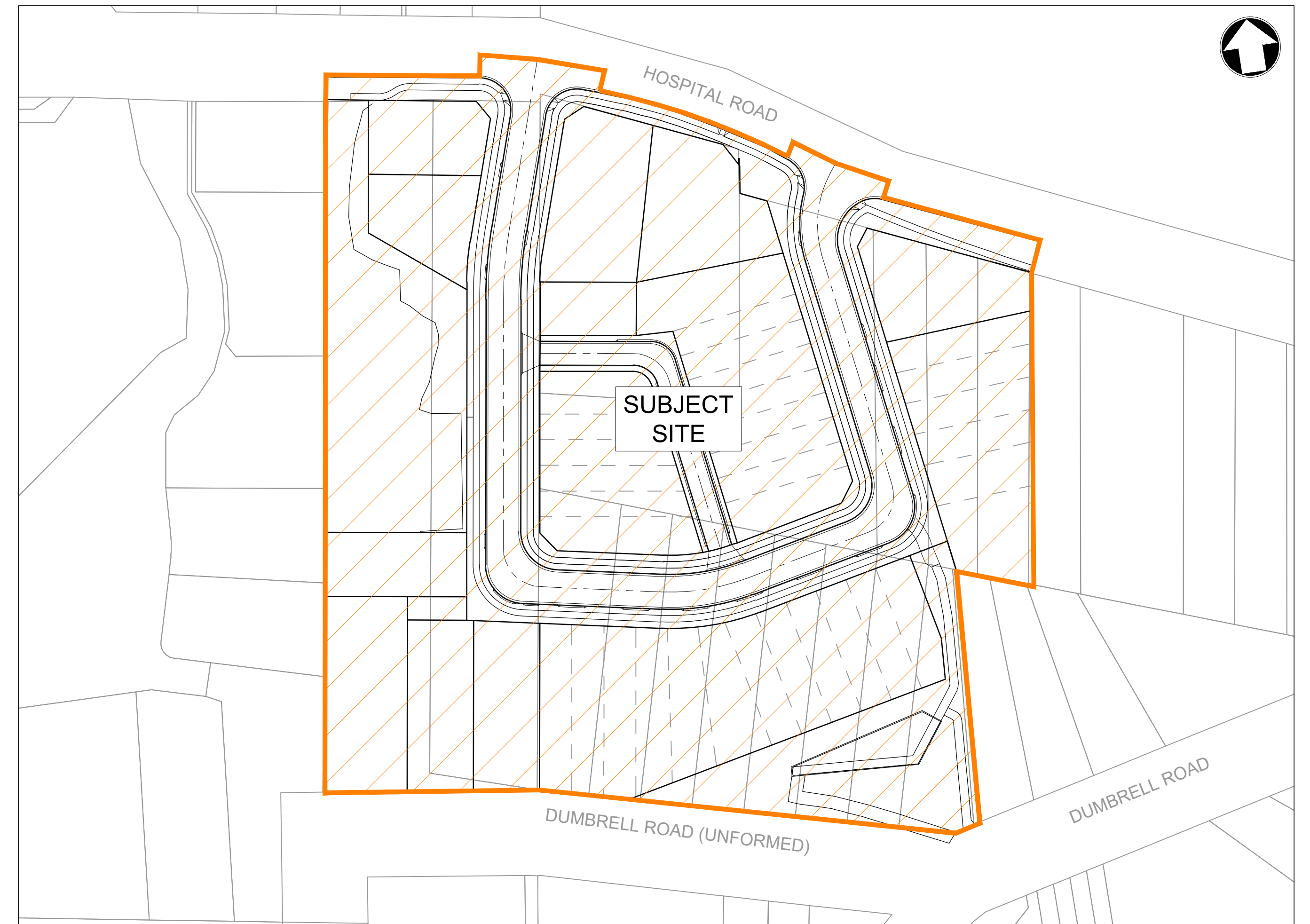
Scaevola calendulacea



Tetragonia tetragonoides



PREPARED FOR:



LOCALITY SKETCH
NTS

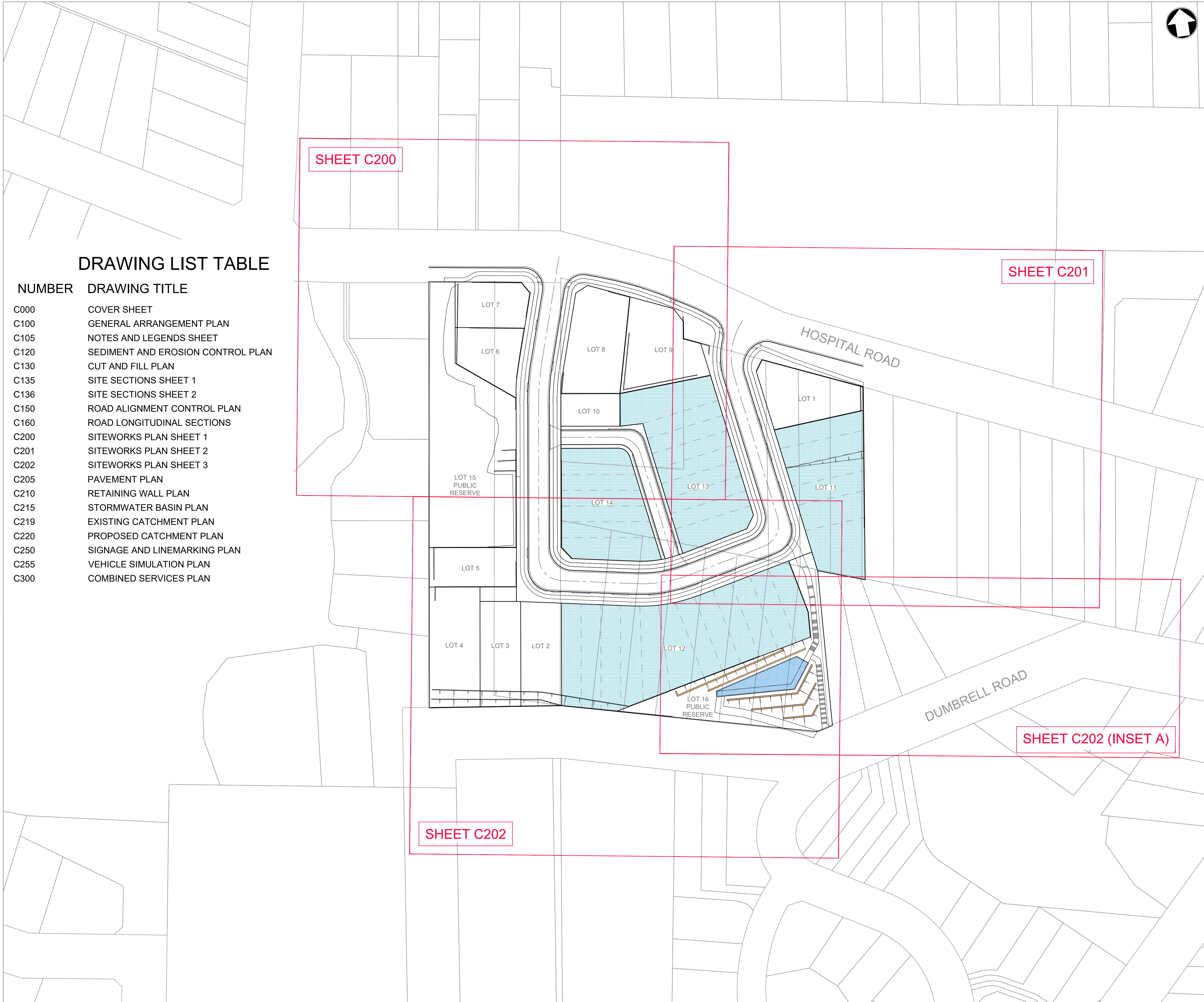
LOT 1 DP326181, LOT 1 DP83742, LOT 1 DP595930,
LOT 1 to 8 DP7677 & LOT 19 to 22 DP6793
LANDCOM - OLD BULLI HOSPITAL
27-29 HOSPITAL ROAD, BULLI
PROPOSED SUBDIVISION - DA CIVIL DRAWINGS

ISSUED FOR DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

22-526-DA-C010 H

03.10.2024



DRAWING LIST TABLE	
NUMBER	DRAWING TITLE
C000	COVER SHEET
C100	GENERAL ARRANGEMENT PLAN
C105	NOTES AND LEGENDS SHEET
C120	SEDIMENT AND EROSION CONTROL PLAN
C130	CUT AND FILL PLAN
C135	SITE SECTIONS SHEET 1
C136	SITE SECTIONS SHEET 2
C150	ROAD ALIGNMENT CONTROL PLAN
C160	ROAD LONGITUDINAL SECTIONS
C200	SITEWORKS PLAN SHEET 1
C201	SITEWORKS PLAN SHEET 2
C202	SITEWORKS PLAN SHEET 3
C205	PAVEMENT PLAN
C210	RETAINING WALL PLAN
C215	STORMWATER BASIN PLAN
C219	EXISTING CATCHMENT PLAN
C220	PROPOSED CATCHMENT PLAN
C250	SIGNAGE AND LINEMARKING PLAN
C255	VEHICLE SIMULATION PLAN
C300	COMBINED SERVICES PLAN

LEGEND

SUPERLOTS TO BE REGISTERED AS PART OF THE PROPOSED SUBDIVISION

INDICATIVE FUTURE LOT LAYOUT FOR SUPERLOTS PROVIDED FOR INFORMATION ONLY. FUTURE SUBDIVISION OF EACH SUPERLOT TO BE CONFIRMED BY OTHERS AS PART OF SUBSEQUENT INDIVIDUAL DA APPLICATION

H	03.10.24	RE-ISSUED FOR DA	VT	DR
G	14.05.24	RE-ISSUED FOR DA	VT	DR
F	10.05.24	RE-ISSUED FOR DA	GAP	DR
E	28.03.24	RE-ISSUED FOR DA	JK	DR
D	19.10.23	RE-ISSUED FOR DA	MRN	DR
C	06.09.23	ISSUED FOR DA	MRN	DR
Rev	Date	Description	Drawn	Appr

idc
infrastructure & development consulting

infrastructure & development consulting
Suite 8.01, 56 Clarence Street
Sydney, NSW 2000
e admin@idcaus.com
w www.idcaus.com

PROJECT
LANDCOM - OLD BULLI HOSPITAL
PROPOSED SUBDIVISION
27-29 HOSPITAL ROAD, BULLI

DRAWING TITLE
GENERAL ARRANGEMENT PLAN

SCALE	1:500	STATUS	DA
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DRAWING NO.	22-526-DA-C100	REV	H
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GENERAL NOTES

1.

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH COUNCIL REQUIREMENTS AND / OR AS DIRECTED BY THEIR REPRESENTATIVE;

2.

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL RELEVANT COUNCIL SPECIFICATIONS AND OTHER CONSULTANT DRAWINGS. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK;

3.

THE CONTRACTOR SHALL NOT ENTER UPON NOR DO ANY WORK WITHIN ADJOINING PROPERTIES WITHOUT THE WRITTEN PERMISSION OF THE OWNERS OR THE RELEVANT AUTHORITY;

4.

NO TREES ARE TO BE REMOVED OTHER THAN THOSE NOTED ON PLAN WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM COUNCIL;

5.

TREES TO BE RETAINED ON SITE SHALL BE PROTECTED BY SUITABLE BARRIER FENCING OR APPROVED EQUIVALENT PRIOR TO THE COMMENCEMENT OF WORKS;

6.

INFRASTRUCTURE & DEVELOPMENT CONSULTING ACCEPTS NO RESPONSIBILITY FOR ANY SURVEY INFORMATION PROVIDED. ALL SURVEY INFORMATION SHOULD BE CONFIRMED BY A REGISTERED SURVEYOR PRIOR TO CONSTRUCTION. ANY DISCREPANCIES, OMISSIONS OR ERRORS SHALL BE REPORTED TO THE SUPERINTENDENT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK;

7.

SURVEY MARKS SHALL BE RETAINED AT ALL TIMES WHERE POSSIBLE. IF A SURVEY MARK IS TO BE REMOVED THE SUPERINTENDENT IS TO BE NOTIFIED AND THE CONTRACTOR IS TO FIRST OBTAIN CONSENT FROM THE DEPARTMENT OF LAND AND PROPERTY INFORMATION NSW PRIOR TO REMOVAL;

8.

THE CONTRACTOR IS TO ARRANGE FOR ALL SITE SET OUT AND CONTROL POINTS BY A REGISTERED SURVEYOR;

9.

IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE THE LINE AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS AND MAKE ARRANGEMENTS TO RELOCATE OR ADJUST IF NECESSARY. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT;

10.

THE CONTRACTOR SHALL OBTAIN ALL REGULATORY AUTHORITY APPROVALS AT THEIR OWN EXPENSE;

11.

THE CONTRACTOR SHALL MAINTAIN SERVICES AND ALL WEATHER ACCESS TO ADJOINING PROPERTIES AT ALL TIMES. IF REQUIRED THE CONTRACTOR SHALL PROVIDE TEMPORARY SERVICES TO MAINTAIN SUPPLY TO EXISTING BUILDINGS REMAINING IN OPERATION DURING THE WORKS. ONCE DIVERSION IS COMPLETE THE CONTRACTOR SHALL REMOVE ALL SUCH TEMPORARY SERVICES AND MAKE GOOD. ALL WORKS TO BE TO THE SATISFACTION OF THE SUPERINTENDENT AND THE RELEVANT SERVICE AUTHORITY;

12.

CARE IS TO BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES;

13.

ALL NEW WORKS TO MAKE SMOOTH TRANSITION WITH EXISTING CONDITIONS;

14.

THE CONTRACTOR SHALL UNDERTAKE ANY TEMPORARY TRAFFIC CONTROL MEASURES AS REQUIRED BY COUNCIL. ALL WORKS TO BE IN ACCORDANCE WITH COUNCIL'S TRAFFIC MANAGEMENT POLICY. ALL APPROPRIATE WARNING SIGNAGE TO BE DISPLAYED FOR THE DURATION OF THE WORKS;

15.

ALL WORKMANSHIP AND MATERIALS TO COMPLY WITH THE RELEVANT CURRENT AUSTRALIAN STANDARDS AND LOCAL STATUTORY AUTHORITY CODES;

16.

MEASUREMENTS ARE NOT TO BE SCALED FROM THE DRAWINGS;

EARTHWORKS NOTES

1.

ALL EARTHWORKS TO BE CARRIED OUT IN ACCORDANCE WITH AS3798 (2007) - GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS;

2.

ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF THE PROJECT GEOTECHNICAL REPORT;

3.

ALL UNSUITABLE, SOFT OR WET MATERIALS ARE TO BE REMOVED AND REPLACED PRIOR TO FILLING;

4.

ALL FILL MATERIAL TO BE FROM A SOURCE APPROVED BY THE SUPERINTENDENT AND IS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROJECT GEOTECHNICAL REPORT PSM4313-007R DATED JUNE 2023 BY PELLIS SULLIVAN MEYNINK;

5.

ALL EARTHWORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE EARTHWORKS SPECIFICATION OUTLINED IN THE PROJECT GEOTECHNICAL REPORT PSM4313-007R DATED JUNE 2023 BY PELLIS SULLIVAN MEYNINK AND CHAPTER E19 OF THE WOLLONGONG DEVELOPMENT CONTROL PLAN;

6.

ALL EARTHWORKS TO TAKE PLACE UNDER LEVEL 1 GEOTECHNICAL SUPERVISION UNLESS DIRECTED OTHERWISE BY THE SUPERINTENDENT OR THE CONDITIONS OF CONSENT. TESTING OF THE FILL MATERIAL SHALL BE CARRIED OUT BY AN APPROVED NATA REGISTERED LABORATORY;

7.

EARTHWORKS TO BE STAGED SO THAT THE WORKING SURFACE IS ADEQUATELY DRAINED DURING THE PERIOD OF CONSTRUCTION;

8.

IN AREAS OF FILL WHERE THE NATURAL SURFACE EXCEEDS 1(V):4(H) BENCHES ARE TO BE CUT TO PREVENT SLIPPING OF THE PLACED FILL MATERIAL AS REQUIRED BY THE SUPERINTENDENT;

9.

ALL BATTERS TO BE SCARIFIED TO ASSIST WITH ADHESION OF TOPSOIL TO BATTER FACE;

10.

THE CONTRACTOR IS TO CONTROL SEDIMENTATION, EROSION AND POLLUTION DURING EARTHWORKS IN ACCORDANCE WITH THE REQUIREMENTS OF "MANAGING URBAN STORMWATER: SOILS AND CONSTRUCTION";

CONCRETE NOTES

1.

ALL WORKMANSHIP AND MATERIALS SHALL COMPLY WITH AS 3600 (UNO);

2.

CONCRETE MIX PARAMETERS

- MAXIMUM AGGREGATE SIZE = 20mm
- SLUMP = 80mm
- ALL CONCRETE MUST BE CONSOLIDATED WITH MECHANICAL VIBRATORS
- CONCRETE STRENGTH AS PER BELOW

CONCRETE STRENGTHS (CIVIL WORKS ONLY)

USE	STRENGTH GRADE (28 DAYS)	CEMENT TYPE TO AS 3972
PITS	F _c = 32MPa	SL
PAVEMENTS	F _c = 32MPa	SL
KERBS	F _c = 25MPa	SL
MASS CONCRETE	F _c = 25MPa	GP

3.

ALL REINFORCEMENT TO BE SUPPORTED IN ITS CORRECT POSITION DURING CONCRETING BY PLASTIC BAR CHAIRS. WIRE CHAIRS NOT PERMITTED. COVER MUST BE MAINTAINED AT ALL TIMES INCLUDING DRIP GROOVES. ENSURE TIE WIRES DO NOT PROTRUDE INTO THE COVER ZONE;

4.

MINIMUM 40mm COVER TO REINFORCEMENT (UNO);

5.

REINFORCEMENT AS SHOWN ON THESE PLANS IS REPRESENTED DIAGRAMMATICALLY AND NOT NECESSARILY SHOWN IN THE TRUE PROJECTION OR SCALE;

6.

ALL CONCRETE TO BE CURED AS FOLLOWS:

- KEEP SURFACE CONTINUOUSLY WET FOR 3 DAYS;
- PREVENT MOISTURE LOSS FOR THE NEXT 4 DAYS USING POLYTHENE SHEETING OR WET HESSIAN PROTECTED FROM WIND AND TRAFFIC, AND THEN ALLOW DRYING OUT;
- CURING COMPOUNDS MAY BE USED PROVIDED THAT THEY APPLY WITH AS3799 AND DO NOT AFFECT FINISHES;
- PVA BASED CURING COMPOUNDS MAY NOT BE USED.

7.

REINFORCEMENT SYMBOLS AS FOLLOWS AS PER AS4671:

N	HOT ROLLED DEFORMED BAR, GRADE 500
R	PLAIN ROUND BAR, GRADE 250
SL / RL	HARD DRAWN WIRE FABRIC (SQUARE OR RECTANGULAR)

8.

MINIMUM ALLOWABLE BEARING CAPACITY UNDER ALL CONCRETE FOUNDATIONS TO BE 150 KPa (UNO). BEARING CAPACITY TO BE CONFIRMED ON SITE BY A GEOTECHNICAL ENGINEER PRIOR TO COMMENCEMENT OF WORKS

STORMWATER NOTES

1.

STORMWATER DRAINAGE DESIGN CRITERIA:

- MINOR SYSTEM = 10YR ARI
- MAJOR SYSTEM = 100YR ARI

2.

ALL STORMWATER PIPES Ø375 TO Ø600 SHALL BE CLASS 2 APPROVED SIGPOT AND SOCKET REINFORCED CONCRETE PIPES WITH RUBBER RING JOINT (UNO);

3.

ALL STORMWATER PIPES Ø675 OR LARGER SHALL BE CLASS 3 APPROVED SIGPOT AND SOCKET REINFORCED CONCRETE PIPES WITH RUBBER RING JOINT (UNO);

4.

ALL UPVC STORMWATER PIPES TO BE DWV CLASS GRADE SN8 IN ACCORDANCE WITH AS 1260 (UNO)

5.

IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THAT THE STORMWATER PIPE CLASSES SUIT THEIR CONSTRUCTION EQUIPMENT AND METHODOLOGY AND TO CHECK ALL CONSTRUCTION LOADINGS ON THE PIPES. THE CONTRACTOR MUST ENSURE THAT THE MINIMUM COVER ABOVE EACH PIPE IS MAINTAINED AT ALL TIMES;

6.

ALL STORMWATER PIPES TO BE LAID AT A MINIMUM GRADE OF 1% (UNO);

7.

PIPE BEDDING TO BE TYPE H2 (UNO) FOR PIPES NOT UNDER PAVEMENTS AND TYPE HS2 FOR PIPES UNDER PAVEMENTS AS PER AS 3725. IN ALL CASES BACKFILL TRENCH WITH SAND TO 300mm ABOVE PIPE (UNO). WHERE PIPE IS UNDER PAVEMENT BACKFILL REMAINDER OF TRENCH TO UNDERSIDE OF PAVEMENT WITH SAND OR APPROVED GRANULAR MATERIAL COMPACTED IN 150mm LAYERS TO MINIMUM 98% STANDARD MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS 1289 5.2.1;

8.

ALL CONNECTIONS TO EXISTING DRAINAGE PITS TO BE MADE IN A TRADESMAN LIKE MANNER AND THE INTERNAL WALL OF THE PIT AT THE POINT OF ENTRY TO BE CEMENT RENDERED TO ENSURE A SMOOTH FINISH WITH NO PROTRUSIONS;

9.

ALL CAST-IN-SITU CONCRETE STOMRWATER PITS TO BE MINIMUM 32MPa AT 28 DAYS (UNO);

10.

PRECAST CONCRETE PITS MAY BE USED IN LIEU OF CAST-IN-SITU PITS SUBJECT TO REVIEW AND APPROVAL BY THE SUPERINTENDENT;

11.

STORMWATER PITS DEEPER THAN 1m TO HAVE STEP IRONS INSTALLED IN ACCORDANCE WITH THE LOCAL OR STATUTORY AUTHORITY REQUIREMENTS;

12.

3m LENGTH OF SUBSOIL DRAIN WRAPPED IN APPROVED FILTER SOCK TO BE PROVIDED AT THE INVERT OF EACH INCOMING UPSTREAM PIPE ON EACH PIT;

13.

DRAINAGE LINES ON PLAN ARE DIAGRAMMATIC ONLY AND PIPE CENTRELINES ARE TO ENTER AND EXIT PITS AT THE CENTRE OF THE RESPECTIVE PIT WALLS (UNO);

14.

THE BASE OF ALL STORMWATER PITS TO BE BENCHED TO FACILITATE THE SMOOTH FLOW OF WATER;

15.

IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE ADEQUATE SAFETY MEASURES SHALL BE PUT IN PLACE AT ALL TIMES DURING CONSTRUCTION TO MITIGATE THE POSSIBILITY OF PERSONNEL FALLING DOWN PITS;

ASPHALTIC CONCRETE NOTES

1.

ASPHALTIC CONCRETE MIX DESIGN, MANUFACTURE, PLACING AND COMPACTION TO BE IN ACCORDANCE WITH:

- THE REQUIREMENTS OF THE PROJECT GEOTECHNICAL REPORT; AND
- COUNCIL'S RELEVANT CONSTRUCTION SPECIFICATION

SIGNAGE AND LINEMARKING

1.

ALL SIGNPOSTING AND LINEMARKING TO BE PLACED IN ACCORDANCE WITH THE FOLLOWING GUIDELINES:

- AS 1742.2 MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES;
- COUNCIL'S RELEVANT STANDARDS.

2.

LOCATIONS OF SIGNS SHOWN ON THESE PLANS ARE INDICATIVE ONLY. SIGNS TO BE SETOUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE ABOVE GUIDELINES;

3.

ALL STREET SIGNS TO BE CHARCOAL POWDER COATED (UNO)

PAVEMENT LEGEND

ASPHALTIC CONCRETE PAVEMENT TO BE CONFIRMED BY GEOTECHNICAL ENGINEER DURING DETAILED DESIGN STAGE

CONCRETE FOOTPATH PAVEMENT IN ACCORDANCE WITH COUNCIL DRAWING No. C22

PROPOSED LANDSCAPING REFER TO LANDSCAPE ARCHITECTS PLANS FOR DETAILS

CONCRETE DRIVEWAY PAVEMENT IN ACCORDANCE WITH COUNCIL STANDARD DRAWING No. C30

ALL PAVEMENTS ARE INDICATIVE ONLY. TO BE CONFIRMED BY GEOTECHNICAL ENGINEER DURING SUBSEQUENT DETAILED DESIGN STAGE

CIVIL WORKS LEGEND

KG

CONSTRUCT KERB AND GUTTER IN ACCORDANCE WITH COUNCIL DRAWING NO. C10

VC

CONSTRUCT VEHICLE CROSSING IN ACCORDANCE WITH COUNCIL DRAWING NO. C30

PR

CONSTRUCT KERB PRAM RAMP IN ACCORDANCE WITH COUNCIL DRAWING NO. C11

CONSTRUCT BATTER

10.0

MAJOR CONTOUR

MINOR CONTOUR

RW

PROPOSED LOT RETAINING WALL. REFER TO DRAWING C210 FOR DETAILS

PROPOSED LANDSCAPE WALL. REFER TO DRAWING C210 / LANDSCAPE ARCHITECTS PLANS FOR DETAILS

A1

STORMWATER DRAINAGE STRUCTURE / PIT NUMBER

SURFACE INLET PIT/JUNCTION PIT IN ACCORDANCE WITH COUNCIL DRAWING NO. C03

KERB INLET PIT WITH LINTEL IN ACCORDANCE WITH COUNCIL DRAWING NO. C01

Ø375
SW

PROPOSED STORMWATER DRAINAGE LINE WITH PIPE SIZE

PROPOSED GROSS POLLUTANT TRAP "GPT". DETAILS TO BE CONFIRMED DURING DETAILED DESIGN PHASE

STORMWATER DRAINAGE EASEMENT TO SUIT INTER-ALLOTMENT DRAINAGE

- Ø150-Ø225 = 1m WIDE
- >Ø300 = 1.5m WIDE

PROPOSED BELOW GROUND ON-SITE STORMWATER DETENTION (OSD) TANK. REFER TO DRAWING C215 FOR DETAILS

LEGEND

G	03.10.24	RE-ISSUED FOR DA	VT	DR
F	14.05.24	RE-ISSUED FOR DA	VT	DR
E	10.05.24	RE-ISSUED FOR DA	GAP	DR
D	19.10.23	RE-ISSUED FOR DA	MRN	DR
C	06.09.23	ISSUED FOR DA	MRN	DR
B	14.07.23	ISSUED FOR INFORMATION	GAP	DR
Rev	Date	Description	Drawn	Appr

infrastructure & development consulting
Suite 8.01, 56 Clarence Street
Sydney, NSW 2000

e

admin@idcaus.com

w

www.idcaus.com

PROJECT

LANDCOM - OLD BULLI HOSPITAL
PROPOSED SUBDIVISION
27-29 HOSPITAL ROAD, BULLI

DRAWING TITLE

NOTES AND LEGENDS SHEET

SCALE

STATUS

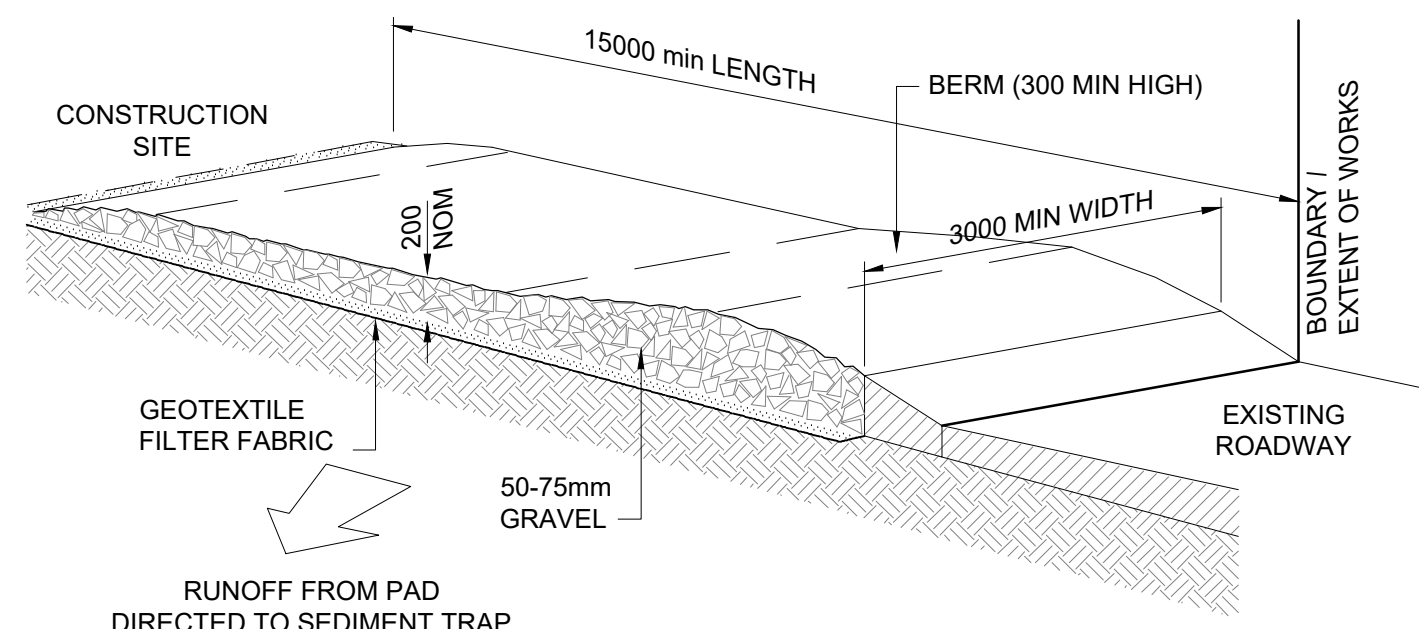
DA

DRAWING NO.

22-526-DA-C105

REV

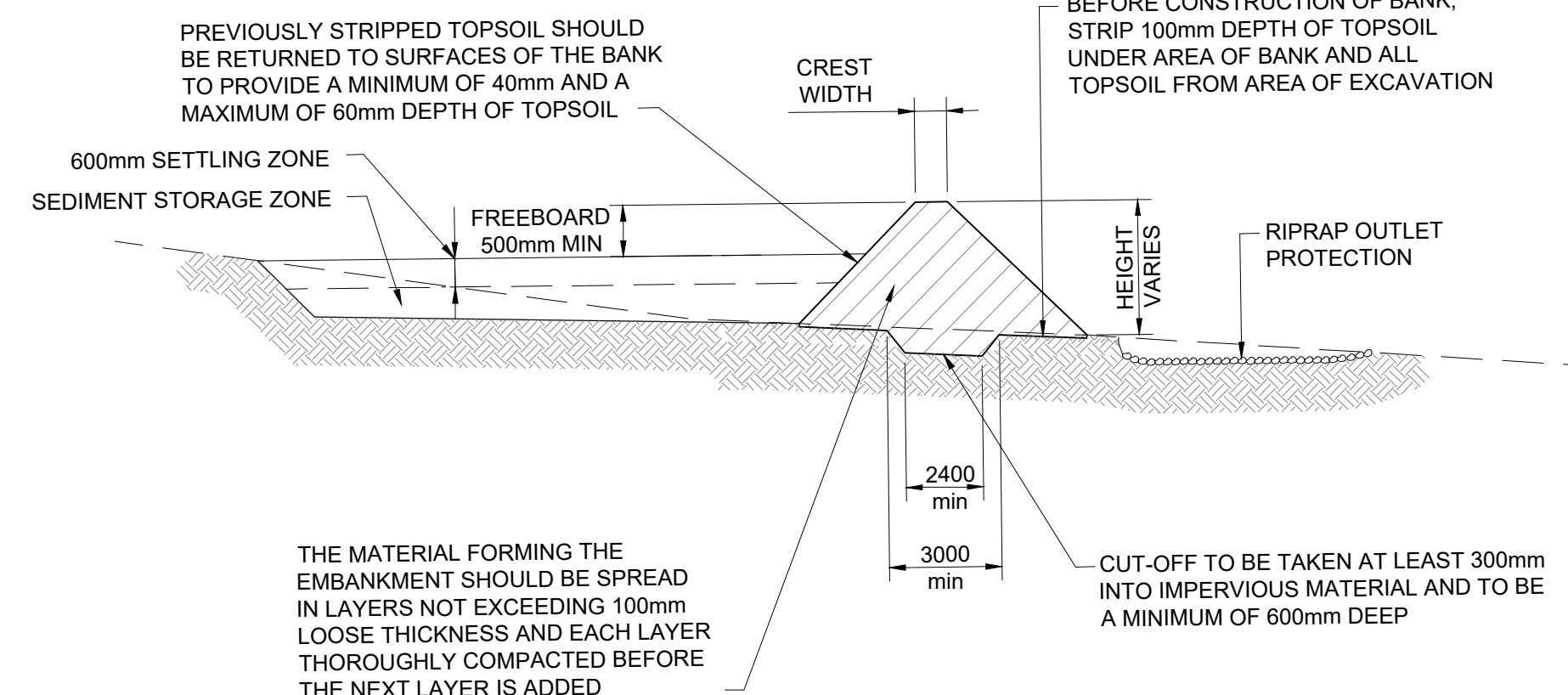
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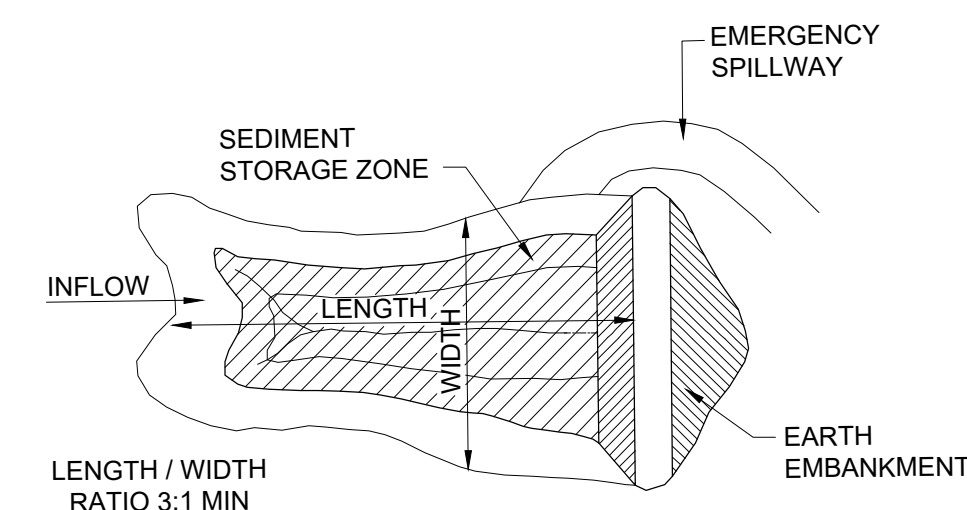
TEMPORARY SITE ENTRANCE
NTS

MAINTENANCE

- THE TEMPORARY ACCESS SHALL BE MAINTAINED IN A CONDITION THAT PREVENTS TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY.
- THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL GRAVEL AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS OF WAY MUST BE REMOVED IMMEDIATELY.

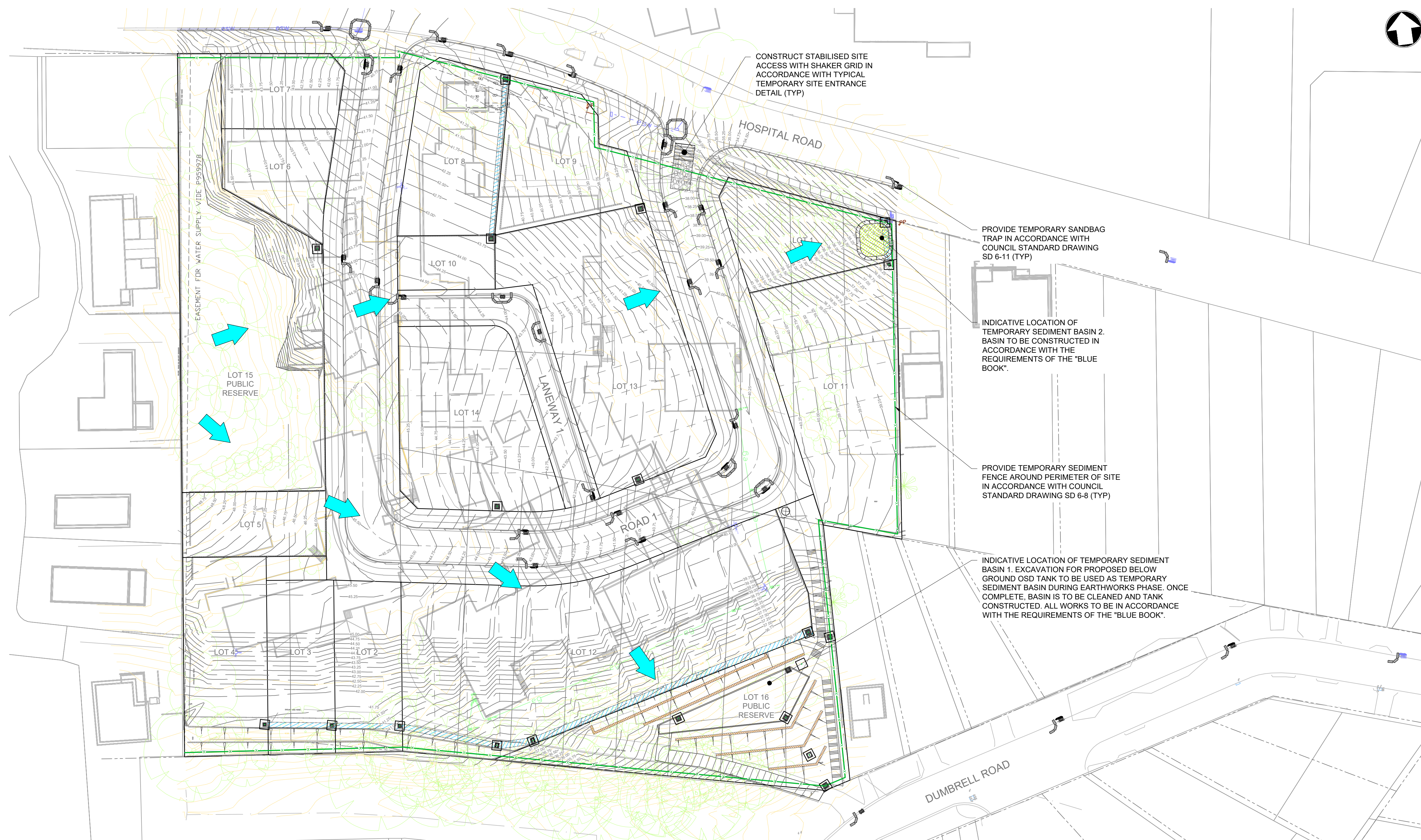


SEDIMENT BASIN (TYPICAL) CROSS SECTION - TYPE D
NTS



SEDIMENT BASIN (TYPICAL) PLAN - TYPE D
NTS

NOTE:
EXISTING TREES TO BE CLEARED AS PART OF SEPARATE DA. REFER TO SEPARATE DRAWING 22-526-SK-C200 REV E PREPARED BY IDC AND ARBORIST REPORT FOR DETAILS.
EXISTING BUILDINGS AND STRUCTURES ASSOCIATED WITH THE FORMER BULLI HOSPITAL TO BE DEMOLISHED AS PART OF SEPARATE DA. REFER TO DRAWING 22-526-SK-C110 REV C PREPARED BY IDC FOR DETAILS.



LEGEND

- TEMPORARY SEDIMENT FENCE IN ACCORDANCE WITH COUNCIL DRAWING SD 6-8
- SANDBAG SEDIMENT TRAP IN ACCORDANCE WITH COUNCIL DRAWING SD 6-11
- DROP INLET SEDIMENT TRAP IN ACCORDANCE WITH COUNCIL DRAWING SD 6-12
- STABILISED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH TYPICAL TEMPORARY SITE ENTRANCE DETAIL
- TEMPORARY SEDIMENT BASIN. ALL WORKS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE "BLUE BOOK"
- PROPOSED FLOW DIRECTION

SEDIMENT CONTROL NOTES

1. THIS PLAN PRESENTS AN INDICATIVE SOIL AND EROSION MANAGEMENT STRATEGY AND IS OF A CONCEPTUAL NATURE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT AND MANAGEMENT OF THE SITE AND PREPARING A DETAILED PLAN AND OBTAINING APPROVAL FROM THE RELEVANT AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY WORKS;
2. THIS PLAN IS TO BE READ IN CONJUNCTION WITH BOTH THE RELEVANT ENGINEERING PLANS AND THE GUIDELINES SET OUT IN "MANAGING URBAN STORMWATER: SOILS AND CONSTRUCTION" (ALSO KNOWN AS THE "BLUE BOOK");
3. ALL BUILDERS AND SUB-CONTRACTORS SHALL BE INFORMED OF THEIR RESPONSIBILITIES IN MINIMISING THE POTENTIAL FOR SOIL EROSION AND POLLUTION TO DOWNSLOPE LANDS AND WATERWAYS;
4. VEHICULAR TRAFFIC SHALL BE CONTROLLED DURING CONSTRUCTION WORKS WITH ACCESS CONFINED TO THE NOMINATED SITE ENTRANCE AS SHOWN ON THIS PLAN OR A LOCATION DETERMINED BY THE SUPERINTENDENT. AREAS TO BE LEFT UNDISTURBED SHALL BE MARKED OFF;
5. PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS THE SITE IS TO BE INSPECTED TO IDENTIFY AND APPROPRIATELY MARK:
 - a) THE TREES TO BE REMOVED;
 - b) THE TREES TO BE RETAINED AND APPROPRIATELY PROTECTED
6. ALL DISTURBED AREAS SHALL BE REVEGETATED WITHIN 14 WORKING DAYS OF COMPLETION OF FORMATION;
7. NO TREES ARE TO BE REMOVED WITHOUT WRITTEN PERMISSION FROM COUNCIL;
8. MANAGEMENT DEVICES TO BE MAINTAINED ON A REGULAR BASIS. WHERE CLEANING IS REQUIRED THE SEDIMENT SHALL BE REMOVED TO AN APPROPRIATE LOCATION AS NOMINATED BY THE SUPERINTENDENT;
9. DUST TO BE MINIMISED BY SPRINKLING LARGE DISTURBED AREAS WITH WATER WHEN REQUIRED
10. MANAGEMENT DEVICES TO REMAIN IN PLACE UNTIL THE COMPLETION OF THE MAINTENANCE PERIOD.

H	03.10.24	RE-ISSUED FOR DA	VT	DR
G	14.05.24	RE-ISSUED FOR DA	VT	DR
F	10.05.24	RE-ISSUED FOR DA	GAP	DR
E	28.03.24	RE-ISSUED FOR DA	JK	DR
D	19.10.23	RE-ISSUED FOR DA	MRN	DR
C	06.09.23	ISSUED FOR DA	MRN	DR
Rev	Date	Description	Drawn	Appr

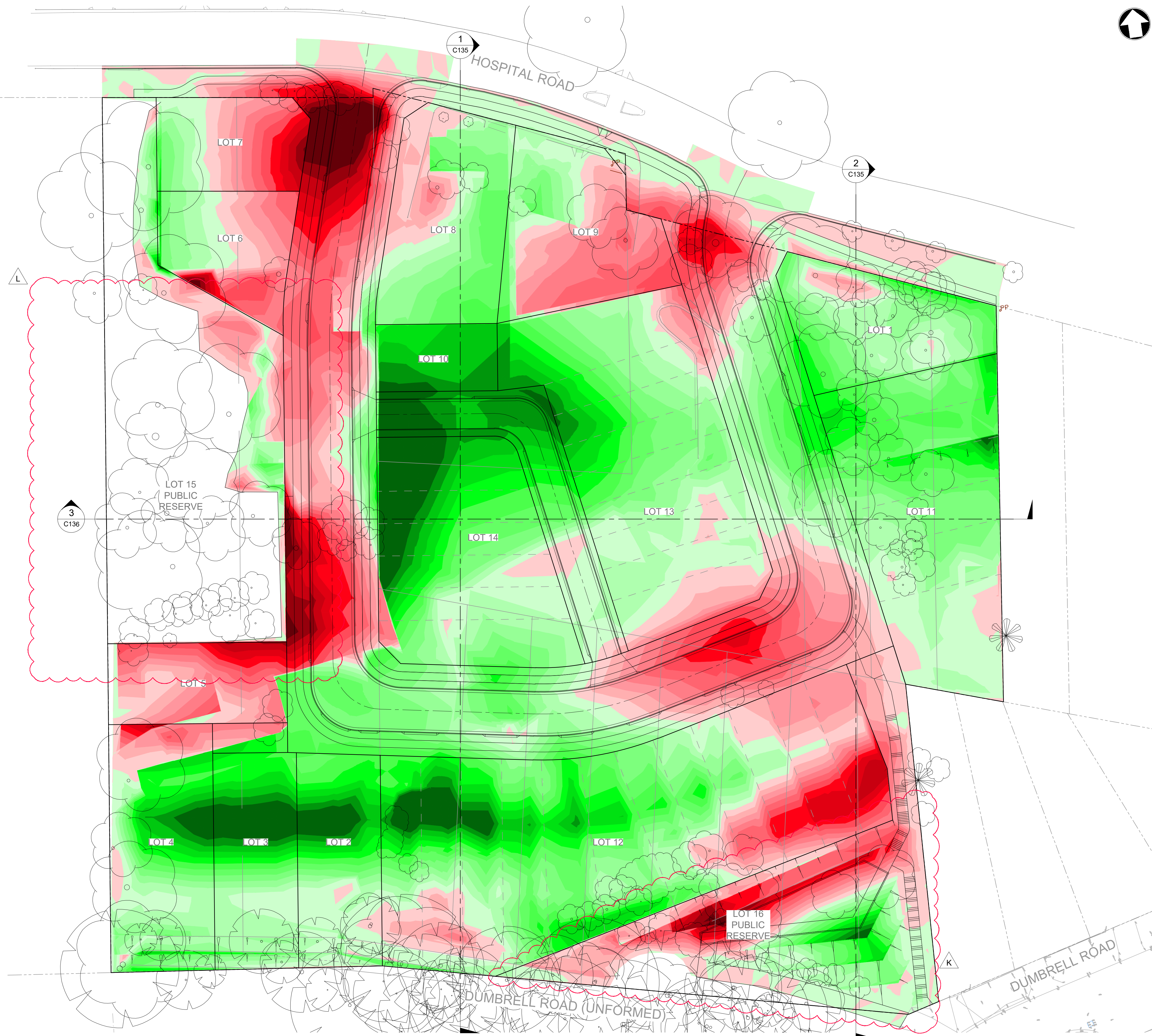

 infrastructure & development consulting
 Suite 8.01, 56 Clarence Street
 Sydney, NSW 2000
 e admin@idcaus.com
 w www.idcaus.com

PROJECT
**LANDCOM - OLD BULLI HOSPITAL
 PROPOSED SUBDIVISION
 27-29 HOSPITAL ROAD, BULLI**

DRAWING TITLE
**SEDIMENT AND EROSION
 CONTROL PLAN**

SCALE 1:500 STATUS DA

DRAWING NO. 22-526-DA-C120 REV H



DEPTH RANGE LEGEND			
<div></div>	> -2.0m	<div></div>	0m to 0.2m
<div></div>	-2.0m to -1.8m	<div></div>	0.2m to 0.4m
<div></div>	-1.8m to -1.6m	<div></div>	0.4m to 0.6m
<div></div>	-1.6m to -1.4m	<div></div>	0.6m to 0.8m
<div></div>	-1.4m to -1.2m	<div></div>	0.8m to 1.0m
<div></div>	-1.2m to -1.0m	<div></div>	1.0m to 1.2m
<div></div>	-1.0m to -0.8m	<div></div>	1.2m to 1.4m
<div></div>	-0.8m to -0.6m	<div></div>	1.4m to 1.6m
<div></div>	-0.6m to -0.4m	<div></div>	1.6m to 1.8m
<div></div>	-0.4m to -0.2m	<div></div>	1.8m to 2.0m
<div></div>	-0.2m to 0m	<div></div>	> 2.0m

CUT AND FILL VOLUMES	
APPROXIMATE VOLUMES	
TOTAL CUT	= - 5,743 m ³
TOTAL FILL	= + 11,187 m ³
BALANCE	= + 5,444 m ³

CUT AND FILL NOTES	
ESTIMATED VOLUMES BETWEEN EXISTING SURVEY AND DESIGN SURFACE LEVELS. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL VOLUMES PRIOR TO CONSTRUCTION.	
THE CUT / FILL CALCULATIONS HAVE BEEN BASED ON THE FOLLOWING ASSUMPTIONS:	
<ul style="list-style-type: none">• NO ALLOWANCE FOR ROAD BENCHING• NO ALLOWANCE FOR REMOVAL OF EXISTING BUILDING AND ROAD PAVEMENTS• NO ALLOWANCE FOR TOPSOIL STRIPPING• VOLUMES WITHIN STORMWATER / SERVICE TRENCHES HAS NOT BEEN CALCULATED• NO ALLOWANCE FOR BELOW GROUND STORMWATER TANK• NO BULKING FACTORS HAVE BEEN APPLIED	

L	09.04.24	RE-ISSUED FOR DA (OPEN SPACE)	VT	DR
K	03.10.24	RE-ISSUED FOR DA	VT	DR
J	14.05.24	RE-ISSUED FOR DA	VT	DR
H	10.05.24	RE-ISSUED FOR DA	GAP	DR
G	28.03.24	RE-ISSUED FOR DA	JK	DR
F	19.10.23	RE-ISSUED FOR DA	MRN	DR
Rev	Date	Description	Drawn	Appr



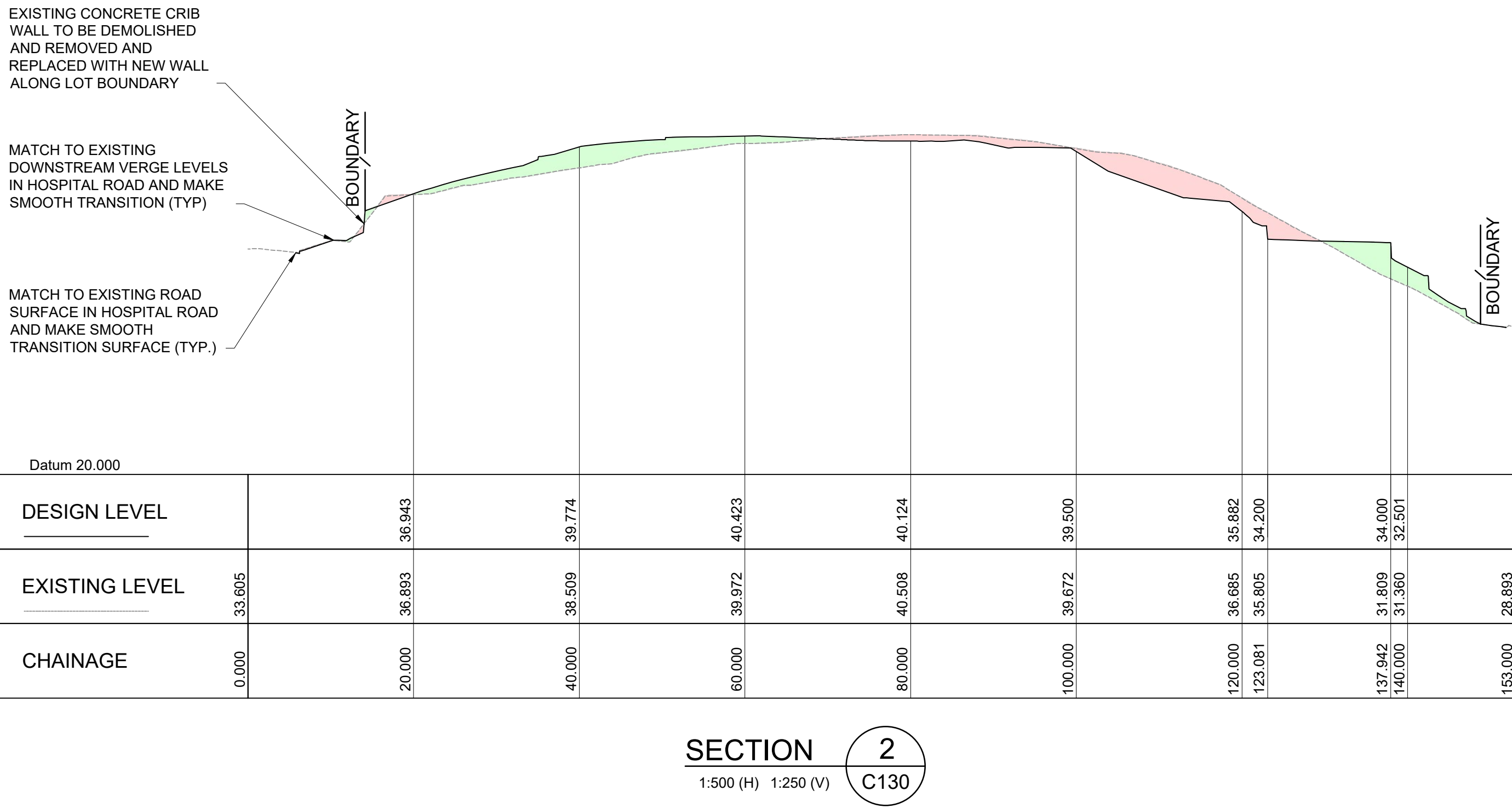
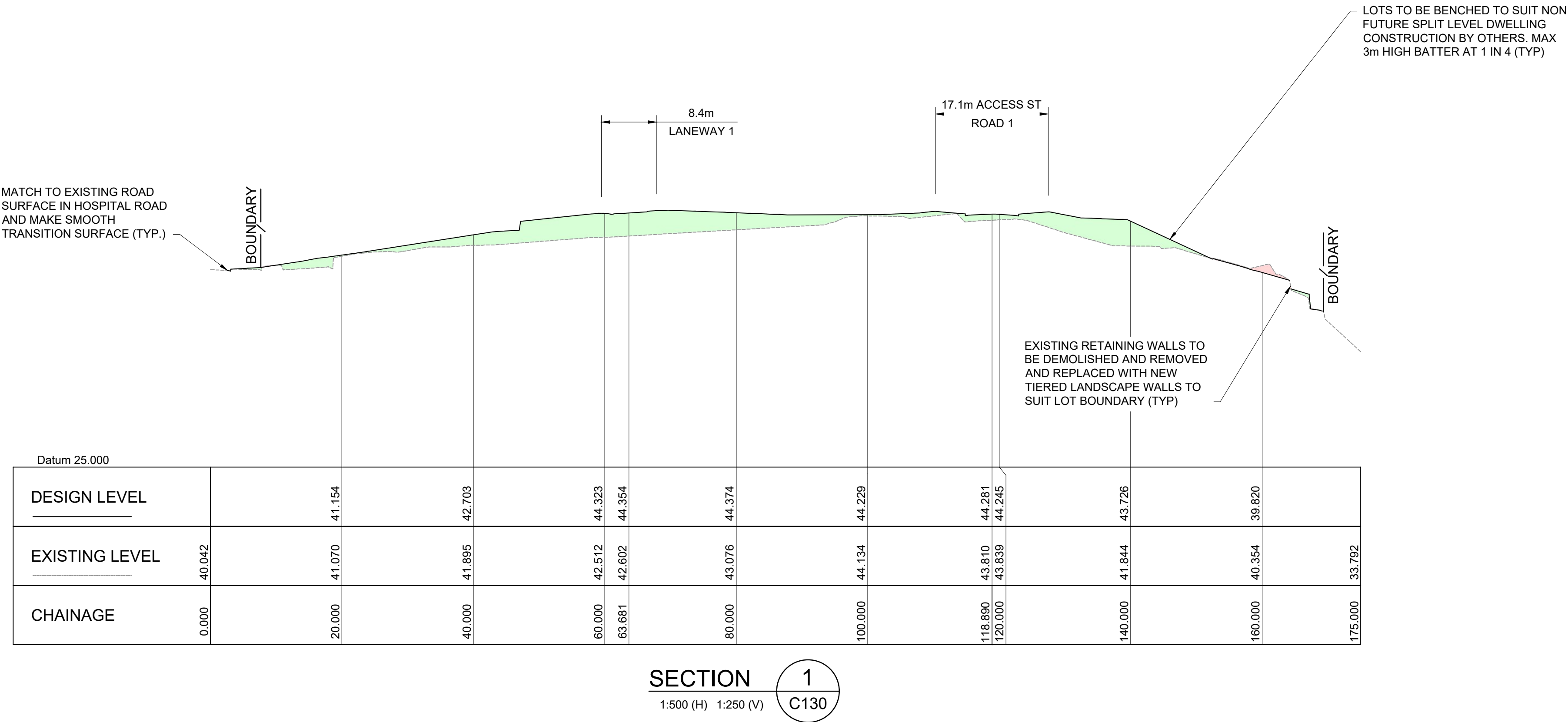
infrastructure & development consulting
Suite 8.01, 56 Clarence Street
Sydney, NSW 2000
e admin@idcaus.com
w www.idcaus.com

PROJECT
**LANDCOM - OLD BULLI HOSPITAL
PROPOSED SUBDIVISION
27-29 HOSPITAL ROAD, BULLI**

DRAWING TITLE
CUT AND FILL PLAN

SCALE 1:350 STATUS DA

DRAWING NO. 22-526-DA-C130 REV L




LEGEND

PROPOSED CUT AREAS

PROPOSED FILL AREAS

F	03.10.24	RE-ISSUED FOR DA	VT	DR
E	14.05.24	RE-ISSUED FOR DA	VT	DR
D	10.05.24	RE-ISSUED FOR DA	GAP	DR
C	19.10.23	RE-ISSUED FOR DA	MRN	DR
B	06.09.23	ISSUED FOR DA	MRN	DR
A	16.06.23	ISSUED FOR INFORMATION	JG	DR
Rev	Date	Description	Drawn	Appr



infrastructure & development consulting
Suite 8.01, 56 Clarence Street
Sydney, NSW 2000
e admin@idcaus.com
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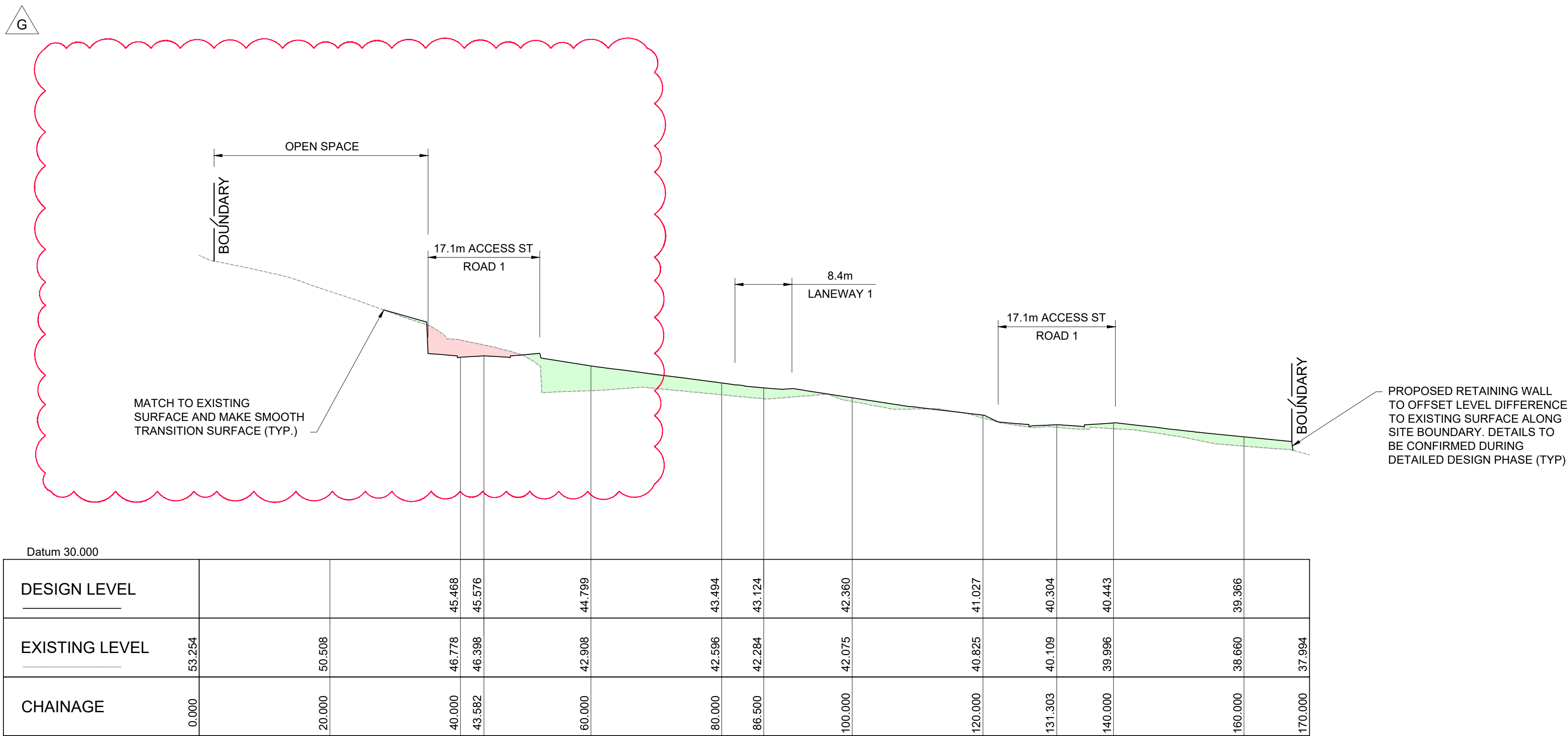
PROJECT

LANDCOM - OLD BULLI HOSPITAL
PROPOSED SUBDIVISION
27-29 HOSPITAL ROAD, BULLI

DRAWING TITLE

SITE SECTIONS
SHEET 1

SCALE	1:500, 1:250	STATUS	DA
DRAWING NO.	22-526-DA-C135	REV	F




SECTION 3
1:500 (H) 1:250 (V)
C130

LEGEND

PROPOSED CUT AREAS

PROPOSED FILL AREAS

G	09.04.24	RE-ISSUED FOR DA (OPEN SPACE)	VT	DR
F	03.10.24	RE-ISSUED FOR DA	VT	DR
E	14.05.24	RE-ISSUED FOR DA	VT	DR
D	10.05.24	RE-ISSUED FOR DA	GAP	DR
C	19.10.23	RE-ISSUED FOR DA	MRN	DR
B	06.09.23	ISSUED FOR DA	MRN	DR
Rev	Date	Description	Drawn	Appr



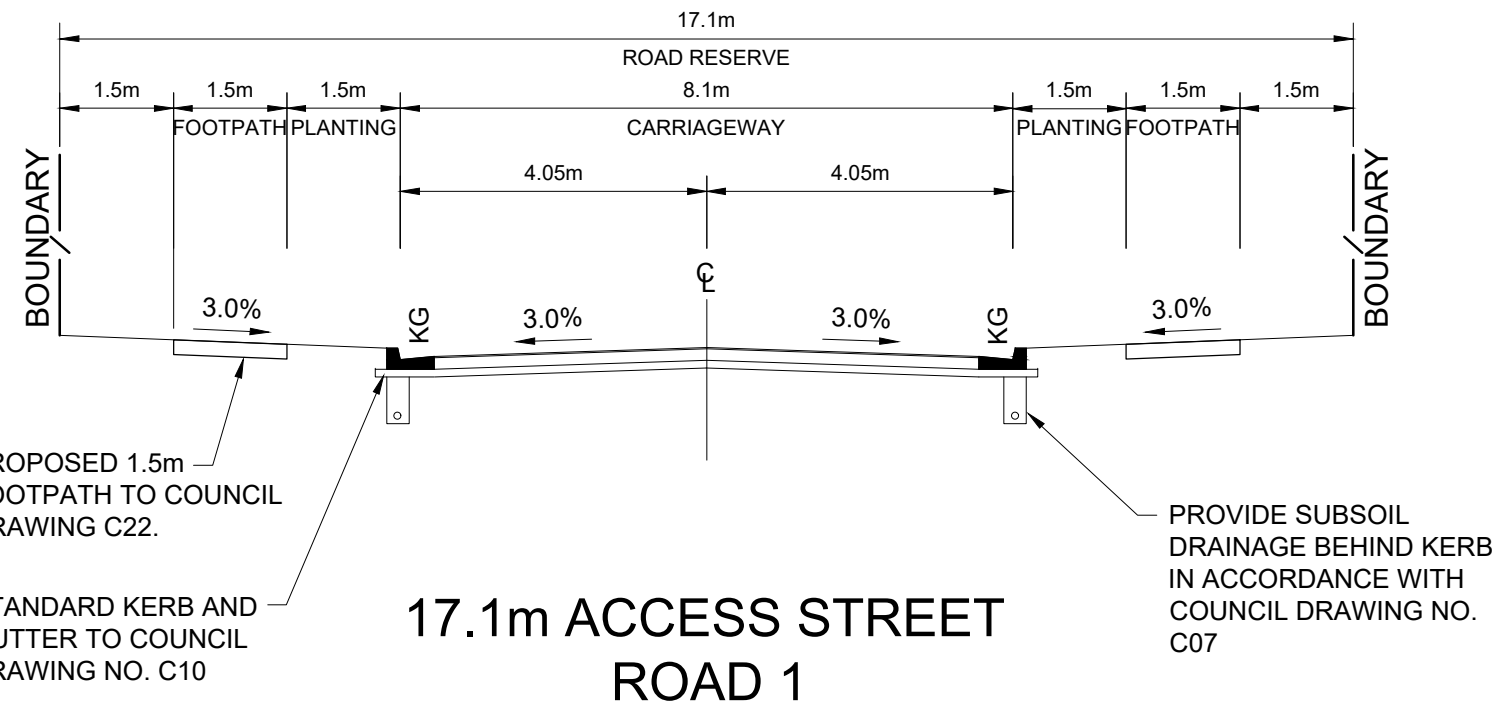
infrastructure & development consulting
Suite 8.01, 56 Clarence Street
Sydney, NSW 2000
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27-29 HOSPITAL ROAD, BULLI

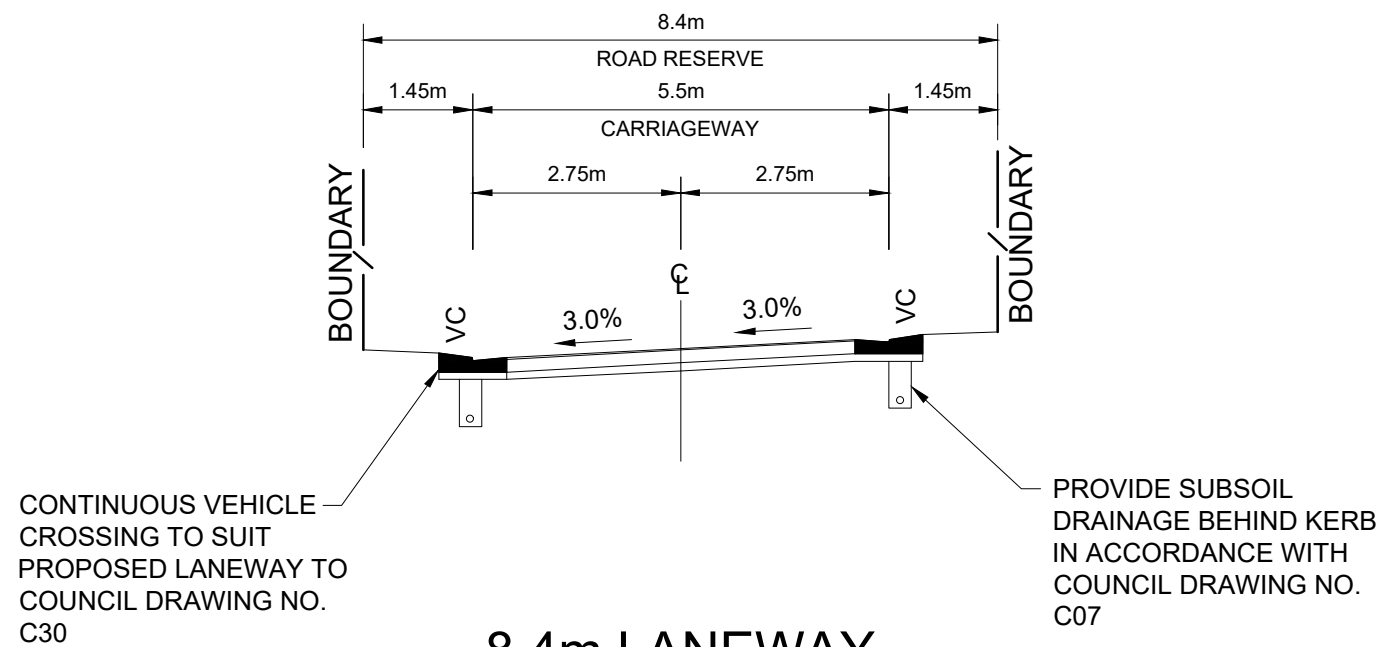
DRAWING TITLE
SITE SECTIONS
SHEET 2

SCALE	1:500, 1:250	STATUS	DA
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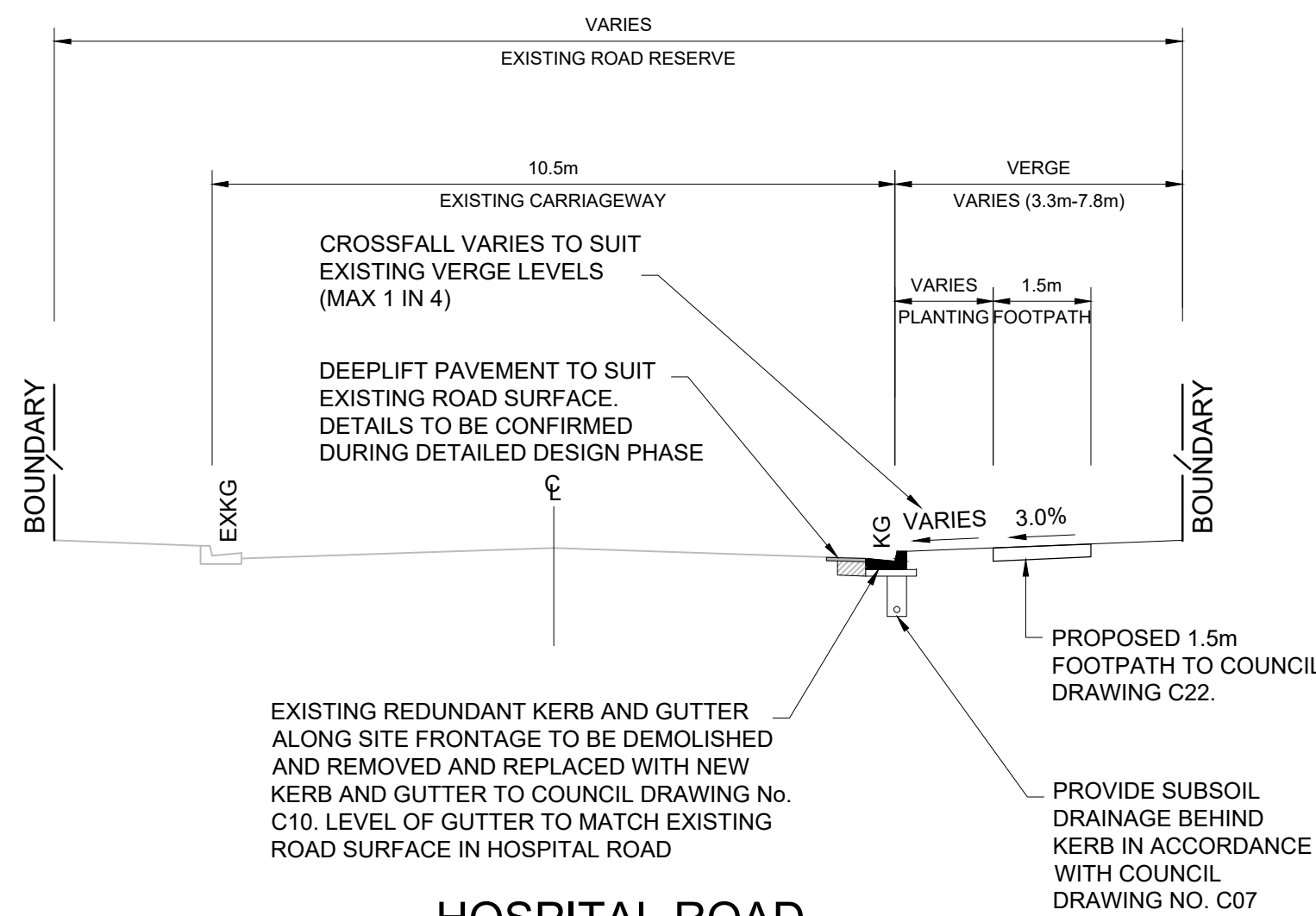
DRAWING NO.	22-526-DA-C136	REV	G
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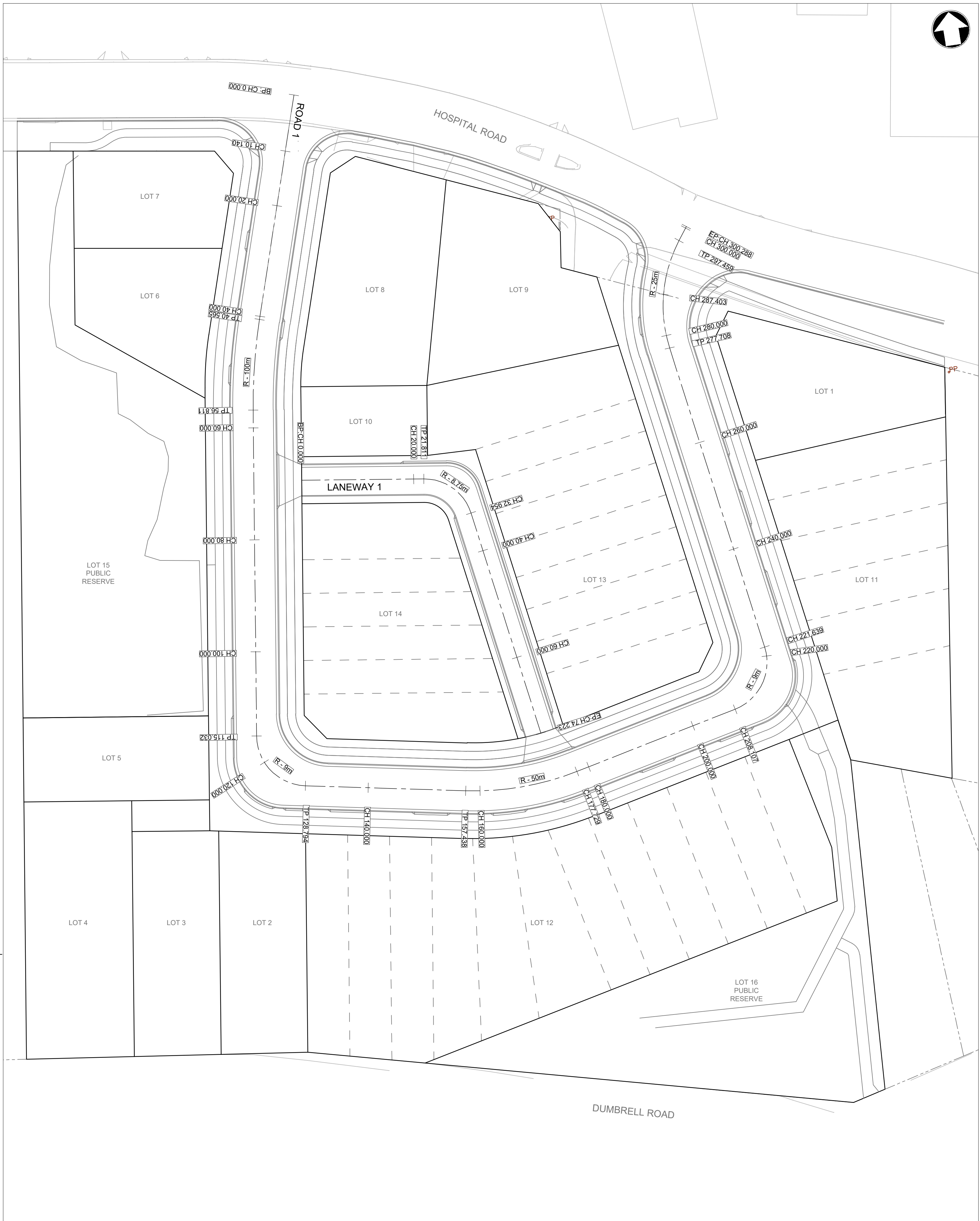
17.1m ACCESS STREET
ROAD 1



8.4m LANEWAY




HOSPITAL ROAD



LEGEND

H	03.10.24	RE-ISSUED FOR DA	VT	DR
G	14.05.24	RE-ISSUED FOR DA	VT	DR
F	10.05.24	RE-ISSUED FOR DA	GAP	DR
E	28.03.24	RE-ISSUED FOR DA	JK	DR
D	19.10.23	RE-ISSUED FOR DA	MRN	DR
C	06.09.23	ISSUED FOR DA	MRN	DR
Rev	Date	Description	Drawn	Appr

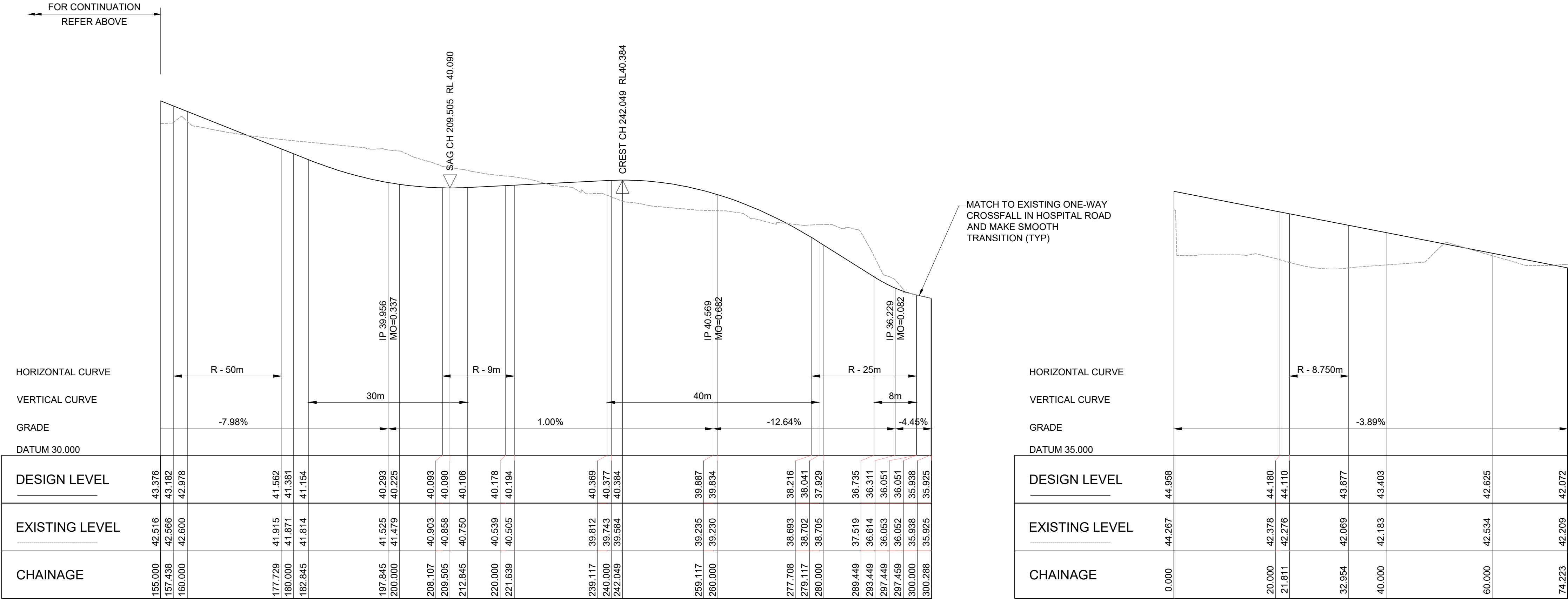
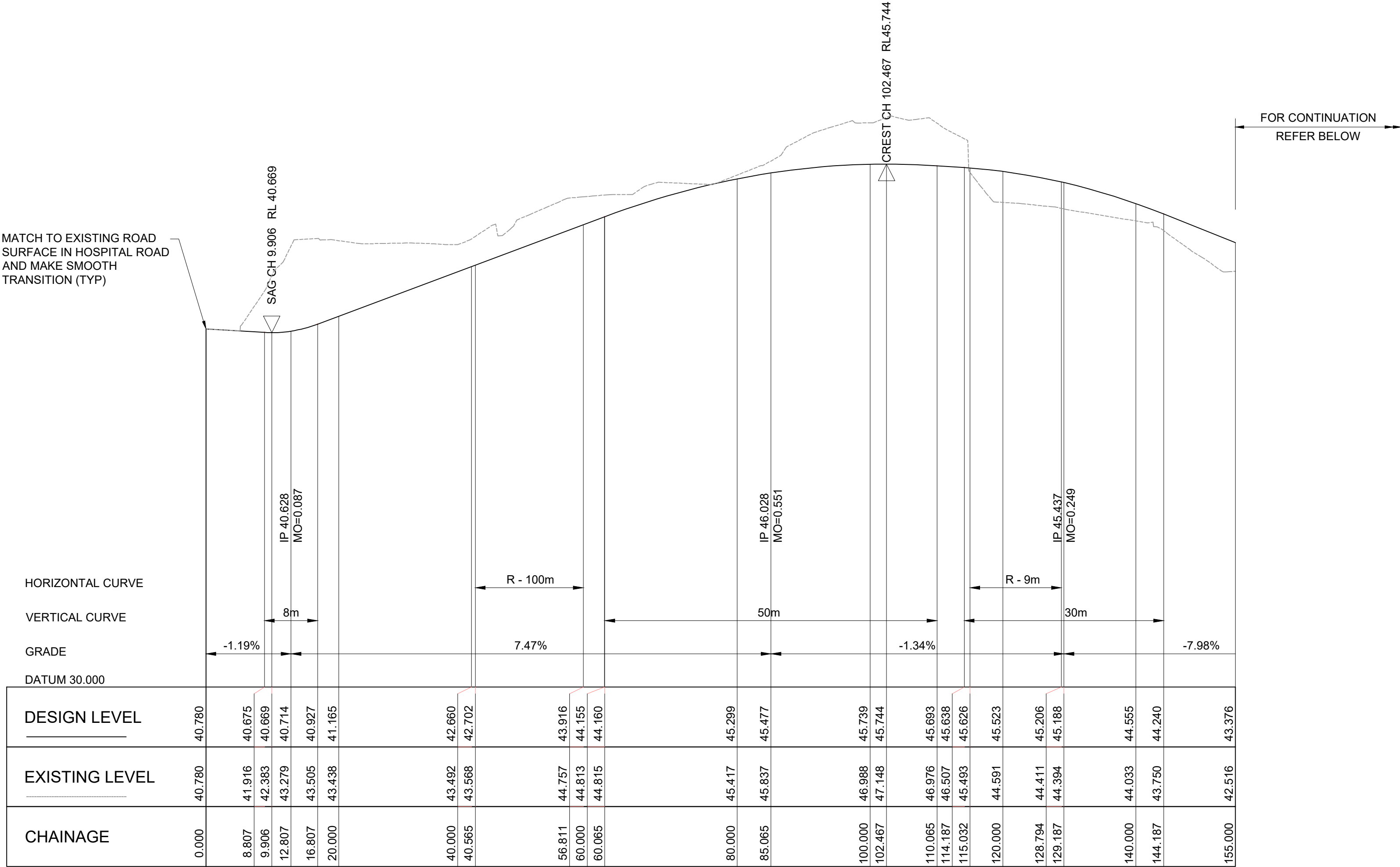
 infrastructure & development consulting
Suite 8.01, 56 Clarence Street
Sydney, NSW 2000
e admin@idcaus.com
w www.idcaus.com

PROJECT
**LANDCOM - OLD BULLI HOSPITAL
PROPOSED SUBDIVISION
27-29 HOSPITAL ROAD, BULLI**

DRAWING TITLE
ROAD ALIGNMENT CONTROL PLAN


SCALE 1:400 STATUS DA

DRAWING NO. 22-526-DA-C150 REV H



LEGEND

G	03.10.24	RE-ISSUED FOR DA	VT	DR
F	14.05.24	RE-ISSUED FOR DA	VT	DR
E	10.05.24	RE-ISSUED FOR DA	GAP	DR
D	19.10.23	RE-ISSUED FOR DA	MRN	DR
C	06.09.23	ISSUED FOR DA	MRN	DR
B	14.07.23	ISSUED FOR INFORMATION	GAP	DR
Rev	Date	Description	Drawn	Appr



infrastructure & development consulting
Suite 8.01, 56 Clarence Street
Sydney, NSW 2000
e admin@idcaus.com
w www.idcaus.com

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LANDCOM - OLD BULLI HOSPITAL
PROPOSED SUBDIVISION
27-29 HOSPITAL ROAD, BULLI

DRAWING TITLE

ROAD LONGITUDINAL SECTIONS

SCALE	1:500,100	STATUS	DA
DRAWING NO.	22-526-DA-C160	REV	G

NOTE:
A) EXISTING SERVICES AS SHOWN ON THIS PLAN HAVE BEEN PLOTTED FROM A COMBINATION OF SITE SURVEY AND DBYD AND ARE INDICATIVE ONLY. CONTRACTOR TO VERIFY THE LOCATION AND LEVEL OF ALL EXISTING SERVICES ON SITE PRIOR TO COMMENCEMENT OF WORKS
B) SUBDIVISION OF PROPOSED SUPERLOTS (INCLUDING DRIVEWAY LAYBACK LOCATIONS) AS SHOWN ON THESE PLANS HAVE BEEN PROVIDED FOR INFORMATION AND ARE INDICATIVE ONLY. FINAL SUBDIVISION LAYOUT (AND SUBSEQUENT DRIVEWAY LOCATIONS AND DRAINAGE DETAILS) ARE TO BE CONFIRMED BY OTHERS DURING THE SUBSEQUENT INDIVIDUAL DA APPLICATIONS FOR EACH SUPERLOT.

SITE STORMWATER FLOWS TO DISCHARGE TO EXISTING DOWNSTREAM PIT AND PIPE NETWORK IN HOSPITAL ROAD AS PER CURRENT FLOW REGIME

EXISTING KERB INLET PIT IN HOSPITAL ROAD TO BE DEMOLISHED AND REMOVED

INTERCEPT EXISTING DRAINAGE LINE IN HOSPITAL ROAD AND CONSTRUCT NEW KERB INLET PIT TO SUIT. ALL WORKS IN ACCORDANCE WITH COUNCIL REQUIREMENTS

MATCH TO EXISTING LEVELS IN VERGE AND MAKE SMOOTH TRANSITION

CONTRACTOR TO LOCATE LINE AND LEVEL OF ALL EXISTING SERVICES ON SITE PRIOR TO COMMENCEMENT OF WORKS. IF REQUIRED EXISTING SERVICES TO BE ADJUSTED TO SUIT PROPOSED WORKS. ALL WORKS IN ACCORDANCE WITH SERVICE PROVIDERS REQUIREMENTS (TYP)

MATCH TO EXISTING ROAD SURFACE IN HOSPITAL ROAD AND MAKE SMOOTH TRANSITION (TYP)

PROPOSED INTERSECTION RAINGARDEN TO TREAT SITE RUNOFF PRIOR TO DISCHARGE TO EXISTING DOWNSTREAM NETWORK. REFER TO DRAWING C216 FOR DETAILS

EXISTING REDUNDANT SITE SERVICES TO BE DISCONNECTED AND REMOVED (TYP)

MATCH TO EXISTING SURFACE AND MAKE SMOOTH TRANSITION (TYP)


NOM 1 IN 4 MAINTENANCE ACCESS ROUTE FROM STREET LEVEL TO OPEN SPACE

PITS IN LANEWAY TO BE CONSTRUCTED WITH TRAFFICABLE "V-GRADE" AND FRAME TO SUIT. DETAILS TO BE CONFIRMED DURING DETAILED DESIGN PHASE (TYP)

LEGEND



I	09.04.24	RE-ISSUED FOR DA (OPEN SPACE)	VT	DR
H	03.10.24	RE-ISSUED FOR DA	VT	DR
G	14.05.24	RE-ISSUED FOR DA	VT	DR
F	10.05.24	RE-ISSUED FOR DA	GAP	DR
E	28.03.24	RE-ISSUED FOR DA	JK	DR
D	19.10.23	RE-ISSUED FOR DA	MRN	DR
Rev	Date	Description	Drawn	Appr



infrastructure & development consulting
Suite 8.01, 56 Clarence Street
Sydney, NSW 2000
e admin@idcaus.com
w www.idcaus.com

PROJECT
LANDCOM - OLD BULLI HOSPITAL
PROPOSED SUBDIVISION
27-29 HOSPITAL ROAD, BULLI

DRAWING TITLE
SITeworks PLAN
SHEET 1

SCALE 1:250 STATUS DA

DRAWING NO. 22-526-DA-C200 REV I

NOTE:

- A) EXISTING SERVICES AS SHOWN ON THIS PLAN HAVE BEEN PLOTTED FROM A COMBINATION OF SITE SURVEY AND DBYD AND ARE INDICATIVE ONLY. CONTRACTOR TO VERIFY THE LOCATION AND LEVEL OF ALL EXISTING SERVICES ON SITE PRIOR TO COMMENCEMENT OF WORKS
- B) SUBDIVISION OF PROPOSED SUPERLOTS (INCLUDING DRIVEWAY LAYBACK LOCATIONS) AS SHOWN ON THESE PLANS HAVE BEEN PROVIDED FOR INFORMATION AND ARE INDICATIVE ONLY. FINAL SUBDIVISION LAYOUT (AND SUBSEQUENT DRIVEWAY LOCATIONS AND DRAINAGE DETAILS) ARE TO BE CONFIRMED BY OTHERS DURING THE SUBSEQUENT INDIVIDUAL DA APPLICATIONS FOR EACH SUPERLOT.

MATCH TO EXISTING ROAD SURFACE IN HOSPITAL ROAD AND MAKE SMOOTH TRANSITION (TYP)

SITE STORMWATER FLOWS TO DISCHARGE TO EXISTING DOWNSTREAM PIT AND PIPE NETWORK IN HOSPITAL ROAD AS PER CURRENT FLOW REGIME

EXISTING KERB INLET PIT IN HOSPITAL ROAD TO BE DEMOLISHED AND REMOVED

EXISTING CONCRETE CRIB RETAINING WALL TO BE DEMOLISHED AND REMOVED AND REPLACED WITH NEW WALL ALONG LOT BOUNDARY TO SUIT. DETAILS TO BE CONFIRMED DURING DETAILED DESIGN PHASE

CONNECT TO EXISTING DOWNSTREAM KERB INLET PIT IN HOSPITAL ROAD


MATCH TO EXISTING LEVELS IN VERGE AND MAKE SMOOTH TRANSITION

MATCH TO EXISTING LEVELS ALONG PROPERTY BOUNDARY AND MAKE SMOOTH TRANSITION (TYP)



LEGEND

H	03.10.24	RE-ISSUED FOR DA	VT	DR
G	14.05.24	RE-ISSUED FOR DA	VT	DR
F	10.05.24	RE-ISSUED FOR DA	GAP	DR
E	28.03.24	RE-ISSUED FOR DA	JK	DR
D	19.10.23	RE-ISSUED FOR DA	MRN	DR
C	06.09.23	ISSUED FOR DA	MRN	DR
Rev	Date	Description	Drawn	Appr



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Suite 8.01, 56 Clarence Street
Sydney, NSW 2000

e admin@idcaus.com
w www.idcaus.com

PROJECT

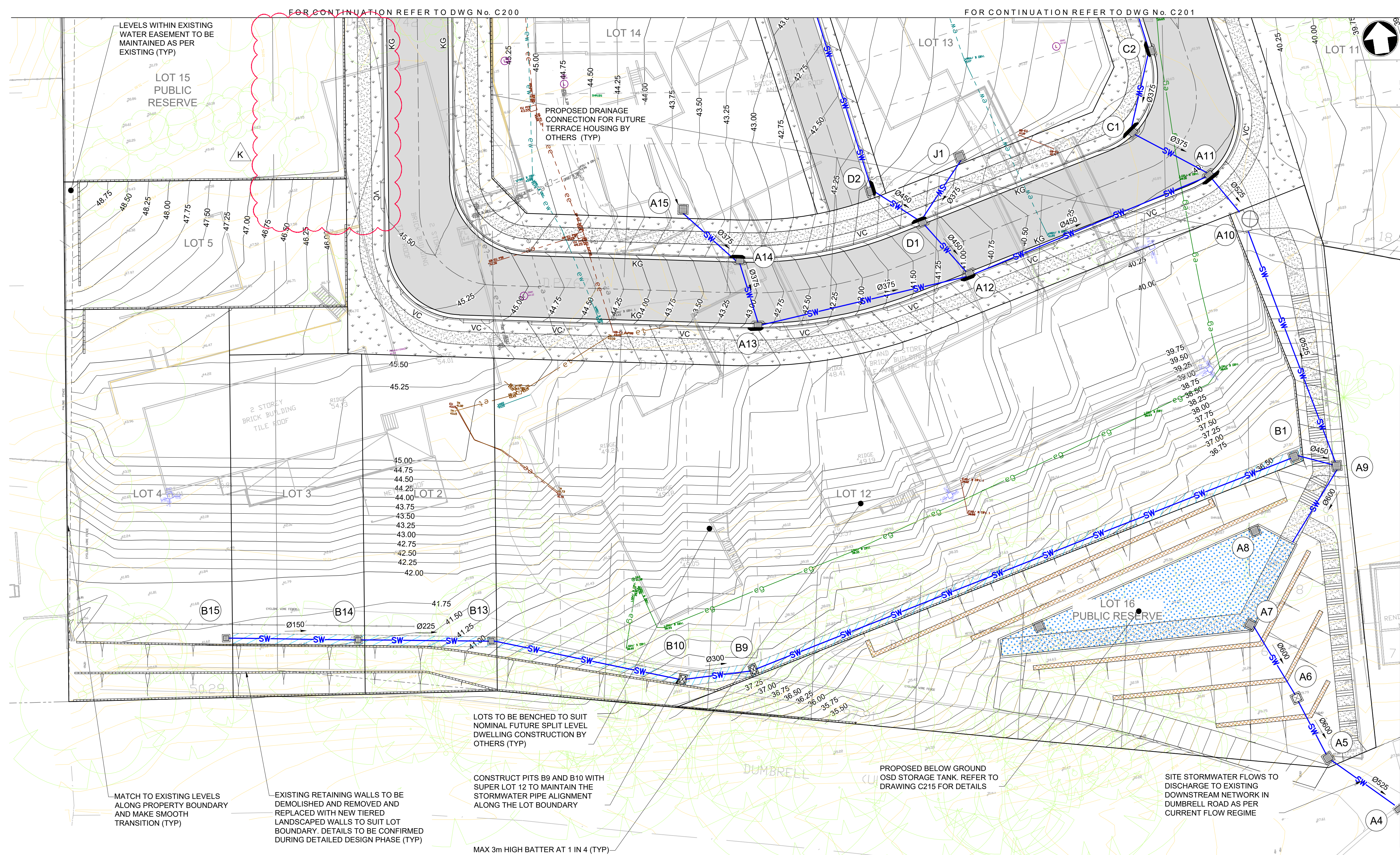
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PROPOSED SUBDIVISION
27-29 HOSPITAL ROAD, BULLI**

DRAWING TITLE

**SITEWORKS PLAN
SHEET 2**

SCALE 1:250 STATUS DA

DRAWING NO. 22-526-DA-C201 REV H



NOTE:

- A) EXISTING SERVICES AS SHOWN ON THIS PLAN HAVE BEEN PLOTTED FROM A COMBINATION OF SITE SURVEY AND DBYD AND ARE INDICATIVE ONLY. CONTRACTOR TO VERIFY THE LOCATION AND LEVEL OF ALL EXISTING SERVICES ON SITE PRIOR TO COMMENCEMENT OF WORKS
- B) SUBDIVISION OF PROPOSED SUPERLOTS (INCLUDING DRIVEWAY LAYBACK LOCATIONS) AS SHOWN ON THESE PLANS HAVE BEEN PROVIDED FOR INFORMATION AND ARE INDICATIVE ONLY. FINAL SUBDIVISION LAYOUT (AND SUBSEQUENT DRIVEWAY LOCATIONS AND DRAINAGE DETAILS) ARE TO BE CONFIRMED BY OTHERS DURING THE SUBSEQUENT INDIVIDUAL DA APPLICATIONS FOR EACH SUPERLOT.

LEGEND

K	09.04.24	RE-ISSUED FOR DA (OPEN SPACE)	VT	DR
J	03.10.24	RE-ISSUED FOR DA	VT	DR
H	14.05.24	RE-ISSUED FOR DA	VT	DR
G	10.05.24	RE-ISSUED FOR DA	GAP	DR
F	28.03.24	RE-ISSUED FOR DA	JK	DR
E	19.10.23	RE-ISSUED FOR DA	MRN	DR
Rev	Date	Description	Drawn	Appr



PROJECT

**LANDCOM - OLD BULLI HOSPITAL
PROPOSED SUBDIVISION
27-29 HOSPITAL ROAD, BULLI**

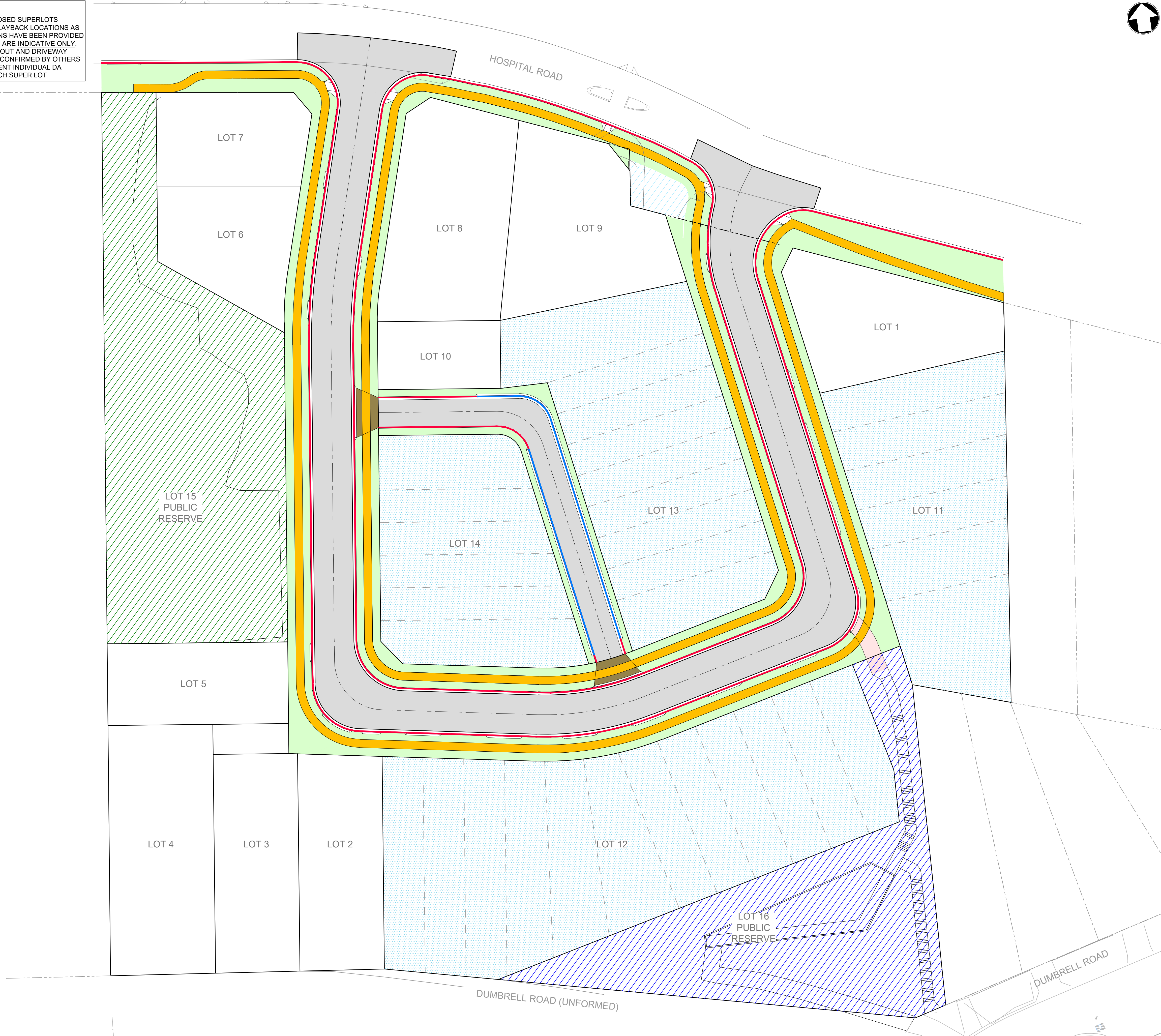
DRAWING TITLE

**SITEWORKS PLAN
SHEET 3**

SCALE **1:250** STATUS **DA**

DRAWING NO. **22-526-DA-C202** REV **K**

NOTE:
SUBDIVISION OF PROPOSED SUPERLOTS INCLUDING DRIVEWAY LAYBACK LOCATIONS AS SHOWN ON THESE PLANS HAVE BEEN PROVIDED FOR INFORMATION AND ARE INDICATIVE ONLY. FINAL SUBDIVISION LAYOUT AND DRIVEWAY LOCATIONS ARE TO BE CONFIRMED BY OTHERS DURING THE SUBSEQUENT INDIVIDUAL DA APPLICATIONS FOR EACH SUPER LOT



LEGEND

ASPHALTIC CONCRETE PAVEMENT
TO BE CONFIRMED BY GEOTECHNICAL
ENGINEER DURING DETAILED DESIGN
STAGE

CONCRETE FOOTPATH PAVEMENT
IN ACCORDANCE WITH COUNCIL
DRAWING No. C22

PROPOSED LANDSCAPING
REFER TO SEPARATE LANDSCAPE
ARCHITECTS PLAN FOR DETAILS

PROPOSED OPEN SPACE
REFER TO SEPARATE LANDSCAPE
ARCHITECTS PLAN FOR DETAILS

PROPOSED CONCRETE DRIVEWAY
PAVEMENT
IN ACCORDANCE WITH COUNCIL STANDARD
DRAWING No. C30

CONCRETE GPT MAINTENANCE PAVEMENT
TO BE CONFIRMED IN DETAILED DESIGN
PHASE

PROPOSED OPEN SPACE
REFER TO DRAWING C215 / SEPARATE
LANDSCAPE ARCHITECTS PLAN FOR
DETAILS

PROPOSED LANDSCAPE ENTRY FEATURE
REFER TO LANDSCAPE ARCHITECTS PLANS
FOR DETAILS

PROPOSED SUPERLOTS TO BE
REGISTERED AS PART OF PROPOSED
SUBDIVISION

PROPOSED 150mm KERB AND GUTTER
IN ACCORDANCE WITH COUNCIL
STANDARD DRAWING No. C10

CONTINUOUS VEHICLE CROSSING
TO SUIT PROPOSED LANEWAY

ALL PAVEMENTS ARE INDICATIVE ONLY. TO BE CONFIRMED BY
GEOTECHNICAL ENGINEER DURING SUBSEQUENT DETAILED
DESIGN STAGE

H	03.10.24	RE-ISSUED FOR DA	VT	DR
G	14.05.24	RE-ISSUED FOR DA	VT	DR
F	10.05.24	RE-ISSUED FOR DA	GAP	DR
E	28.03.24	RE-ISSUED FOR DA	JK	DR
D	19.10.23	RE-ISSUED FOR DA	MRN	DR
C	06.09.23	ISSUED FOR DA	MRN	DR
Rev	Date	Description	Drawn	Appr



infrastructure & development consulting

infrastructure & development consulting
Suite 8.01, 56 Clarence Street
Sydney, NSW 2000

e admin@idcaus.com
w www.idcaus.com



PROJECT
**LANDCOM - OLD BULLI HOSPITAL
PROPOSED SUBDIVISION
27-29 HOSPITAL ROAD, BULLI**

DRAWING TITLE
PAVEMENT PLAN

SCALE	1:350	STATUS	DA
DRAWING NO.	22-526-DA-C205	REV	H



LEGEND

LEGEND	
	PROPOSED BELOW GROUND OSD STORAGE TANK
	PROPOSED GPT TO PROVIDE PRE-TREATMENT OF STORMWATER FLOWS PRIOR TO DISCHARGE TO OSD TANK

J	10.10.24	RE-ISSUED FOR DA	VT	DR
H	03.10.24	RE-ISSUED FOR DA	VT	DR
G	14.05.24	RE-ISSUED FOR DA	VT	DR
F	10.05.24	RE-ISSUED FOR DA	GAP	DR
E	28.03.24	RE-ISSUED FOR DA	JK	DR
D	19.10.23	RE-ISSUED FOR DA	MRN	DR
Rev	Date	Description	Drawn	Appr

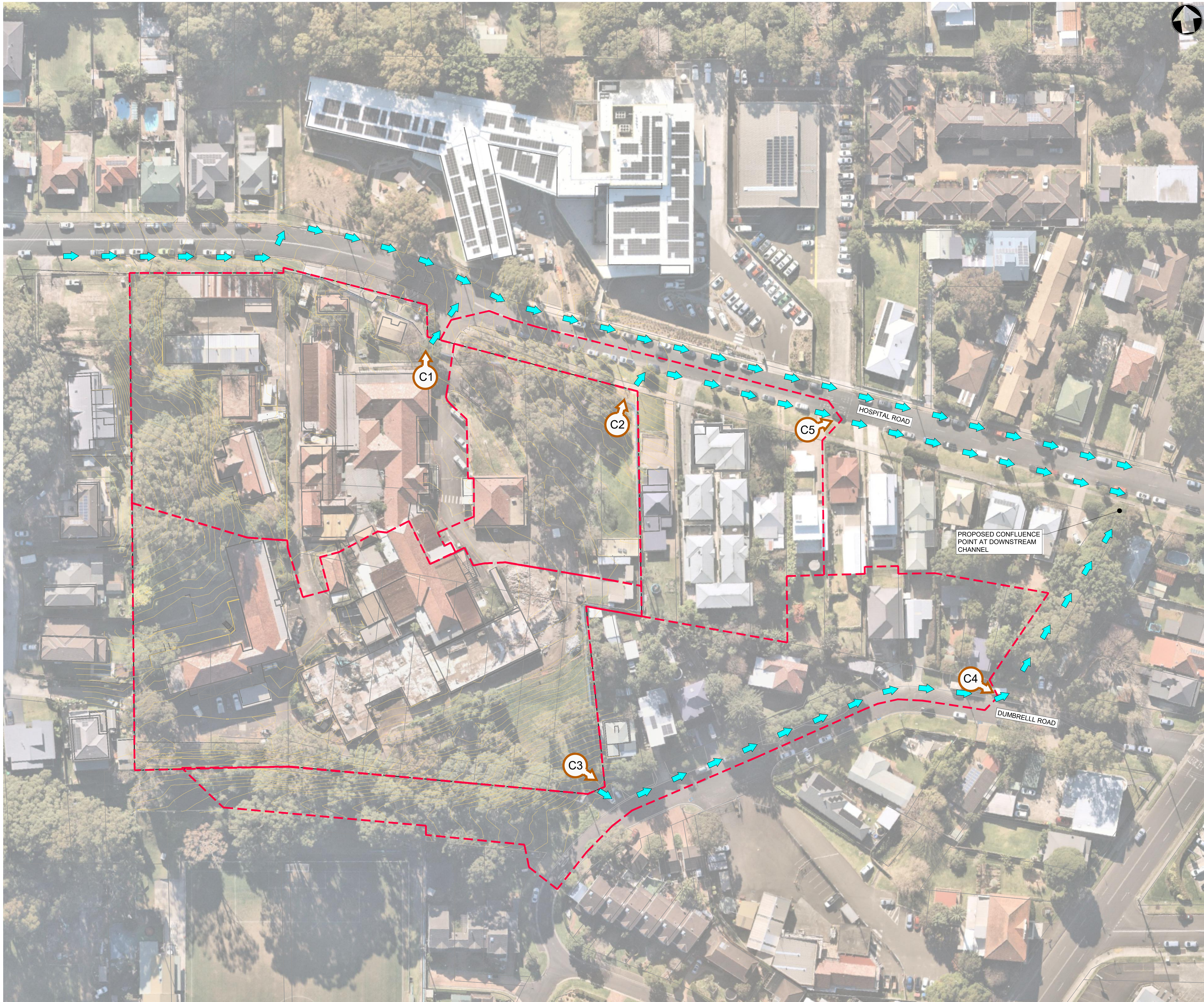


PROJECT

LANDCOM - OLD BULLI HOSPITAL
PROPOSED SUBDIVISION
27-29 HOSPITAL ROAD, BULLI

DRAWING TITLE
STORMWATER BASIN PLAN

SCALE	AS SHOWN	STATUS	DA
DRAWING NO.	22-526-DA-C215		REV J



LEGEND

EXISTING CATCHMENT BOUNDARY

C1

NORTHERN CATCHMENTS DRAINING TO HOSPITAL ROAD

= 0.89Ha @ 61% IMPERVIOUS

C2

NORTHERN CATCHMENTS DRAINING TO HOSPITAL ROAD

= 0.39Ha @ 61% IMPERVIOUS

C3

SOUTHERN CATCHMENT DRAINING TO DUMBRELL ROAD

= 1.14Ha @ 54% IMPERVIOUS

C4

EXISTING CONTRIBUTING CATCHMENT DRAINING TO DUMBRELL ROAD

= 0.88Ha @ 60% IMPERVIOUS

C5

EXISTING CONTRIBUTING CATCHMENT DRAINING TO HOSPITAL ROAD

= 0.56Ha @ 60% IMPERVIOUS

EXISTING FLOW DIRECTION

G	03.10.24	RE-ISSUED FOR DA	VT	DR
F	14.05.24	RE-ISSUED FOR DA	VT	DR
E	10.05.24	RE-ISSUED FOR DA	GAP	DR
D	28.03.24	RE-ISSUED FOR DA	JK	DR
C	19.10.23	RE-ISSUED FOR DA	MRN	DR
B	06.09.23	ISSUED FOR DA	MRN	DR
Rev	Date	Description	Drawn	Appr



infrastructure & development consulting

infrastructure & development consulting
Suite 8.01, 56 Clarence Street
Sydney, NSW 2000

e admin@idcaus.com
w www.idcaus.com

PROJECT

LANDCOM - OLD BULLI HOSPITAL
PROPOSED SUBDIVISION
27-29 HOSPITAL ROAD, BULLI

DRAWING TITLE

EXISTING CATCHMENT PLAN

SCALE 1:600

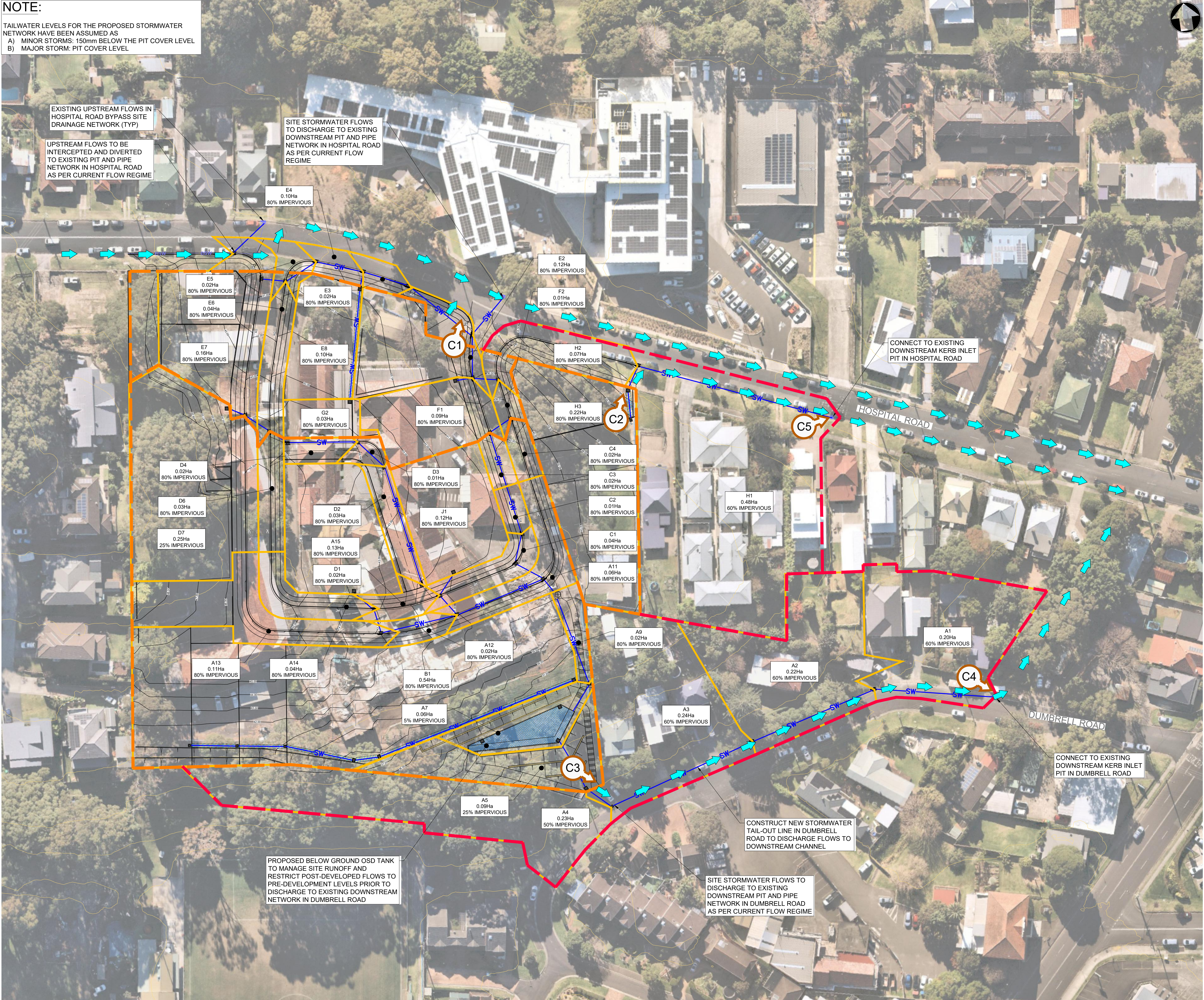
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DRAWING NO. 22-526-DA-C219

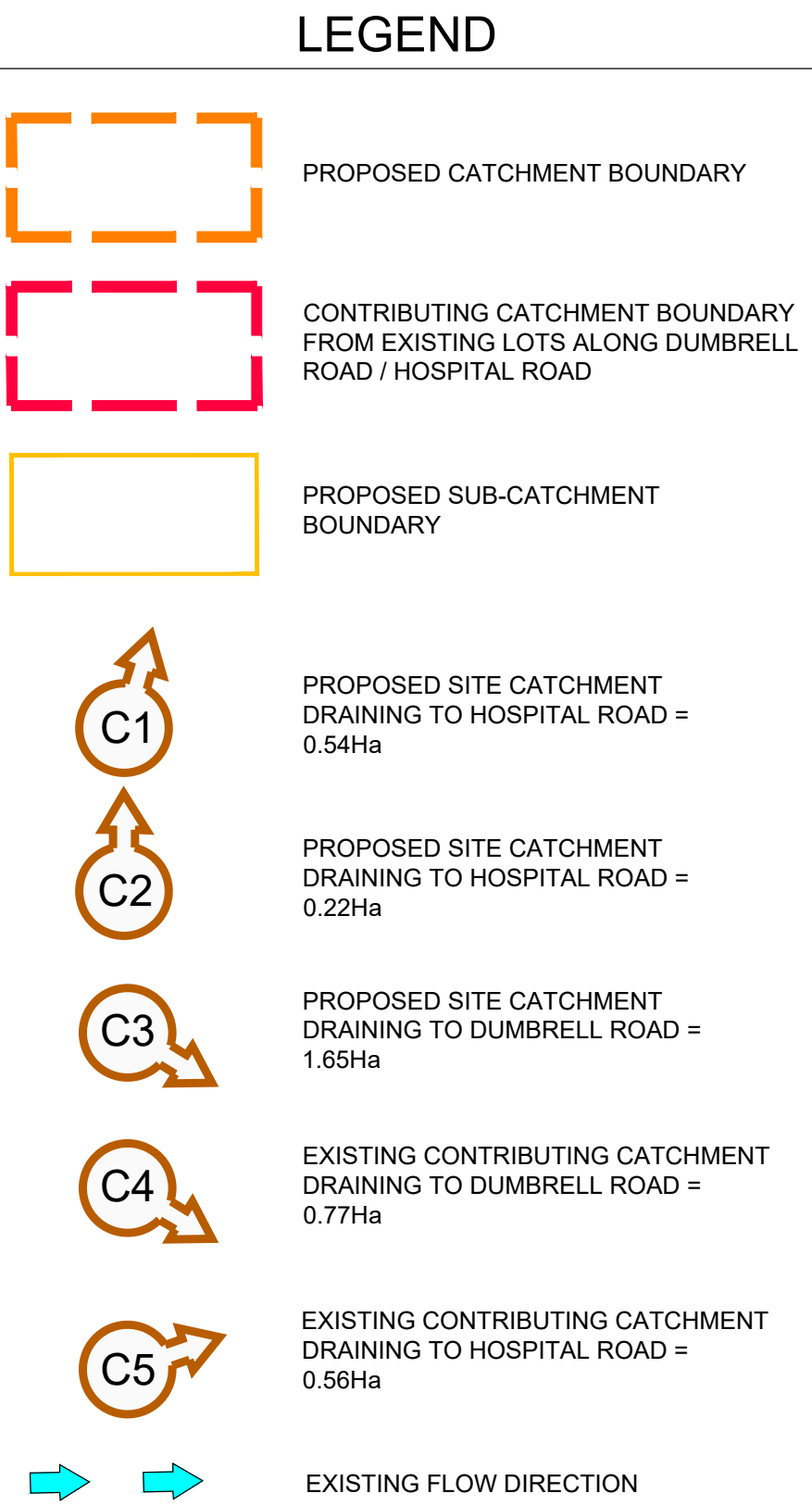
REV G

NOTE:

TAILWATER LEVELS FOR THE PROPOSED STORMWATER NETWORK HAVE BEEN ASSUMED AS
A) MINOR STORMS: 150mm BELOW THE PIT COVER LEVEL
B) MAJOR STORM: PIT COVER LEVEL



LEGEND



PRE-POST COMPARISON			
DISCHARGE LOCATION	ARI	PRE-DEVELOPED PEAK DISCHARGE (m³/s)	POST-DEVELOPED PEAK DISCHARGE (m³/s)
HOSPITAL ROAD (C1)	5yr	0.405	0.275
	10yr	0.474	0.322
	20yr	0.558	0.385
	50yr	0.629	0.430
	100yr	0.715	0.490
HOSPITAL ROAD DOWNSTREAM (C5)	5yr	0.434	0.357
	10yr	0.508	0.425
	20yr	0.598	0.492
	50yr	0.674	0.555
	100yr	0.765	0.630
DUMBRELL ROAD (C4)	5yr	0.895	0.835
	10yr	1.050	0.935
	20yr	1.240	1.070
	50yr	1.390	1.200
	100yr	1.580	1.330

G	03.10.24	RE-ISSUED FOR DA	VT	DR
F	14.05.24	RE-ISSUED FOR DA	VT	DR
E	10.05.24	RE-ISSUED FOR DA	GAP	DR
D	28.03.24	RE-ISSUED FOR DA	JK	DR
C	19.10.23	RE-ISSUED FOR DA	MRN	DR
B	06.09.23	ISSUED FOR DA	MRN	DR
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Suite 8.01, 56 Clarence Street
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idc

e admin@idcaus.com
w www.idcaus.com

PROJECT

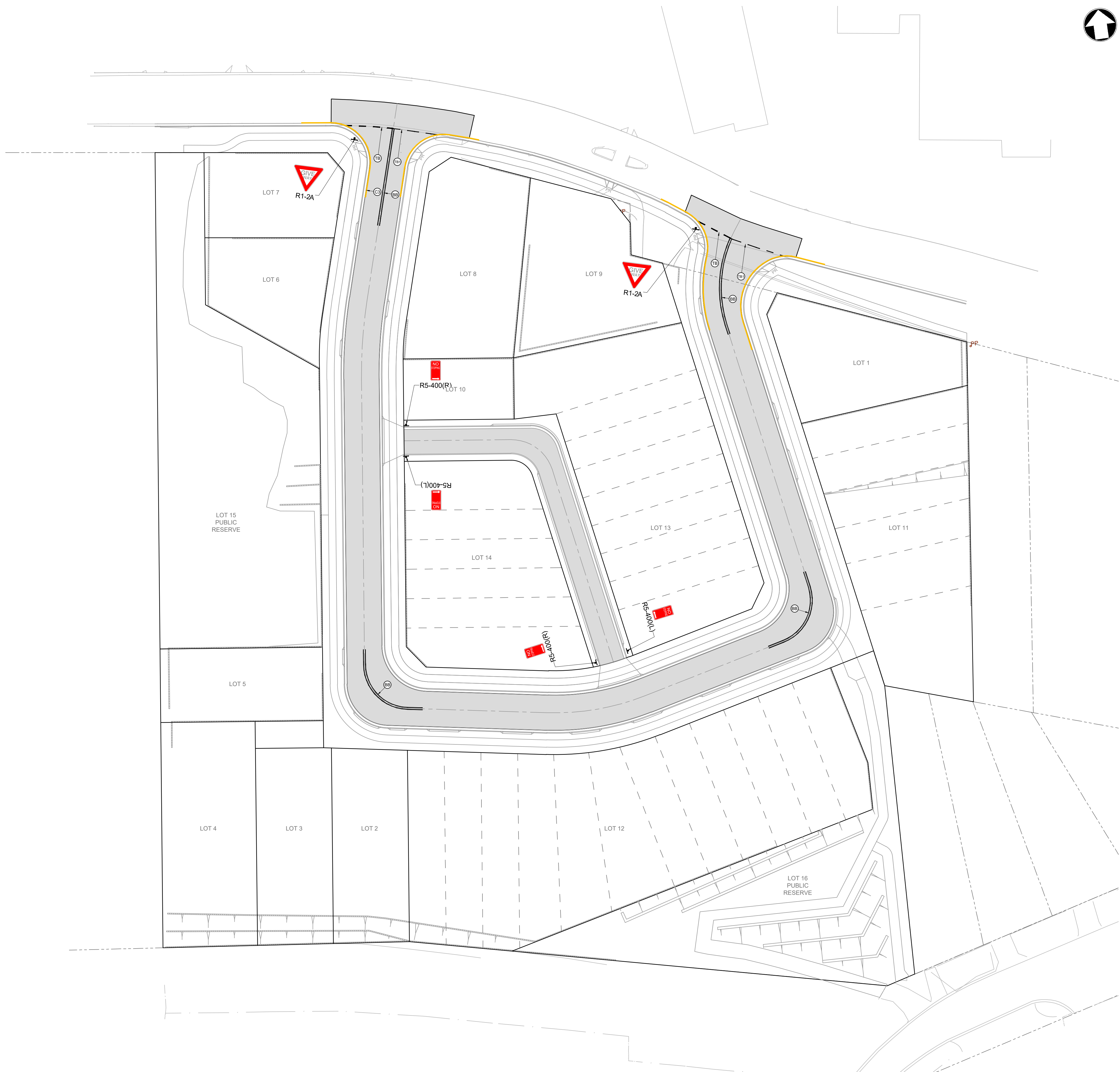
LANDCOM - OLD BULLI HOSPITAL
PROPOSED SUBDIVISION
27-29 HOSPITAL ROAD, BULLI

DRAWING TITLE

PROPOSED CATCHMENT PLAN

SCALE 1:600 STATUS DA

DRAWING NO. 22-526-DA-C220 REV G



LEGEND

ALL SIGNPOSTING TO BE IN ACCORDANCE WITH CURRENT RMS REGULATORY SIGNS MANUAL AND AS1742.2

TB1

TB

BB

C3

HOLDING LINES

DOUBLE BARRIER LINE


"NO STOPPING" YELLOW EDGE LINE

GIVE WAY SIGN

NO STOPPING LEFT/RIGHT SIGN

NOTE:
DETAILS SHOWN ON THIS PLAN ARE INDICATIVE ONLY AND SUBJECT TO LTC APPROVAL

G	03.10.24	RE-ISSUED FOR DA	VT	DR
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E	10.05.24	RE-ISSUED FOR DA	GAP	DR
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Suite 8.01, 56 Clarence Street
Sydney, NSW 2000
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w www.idcaus.com

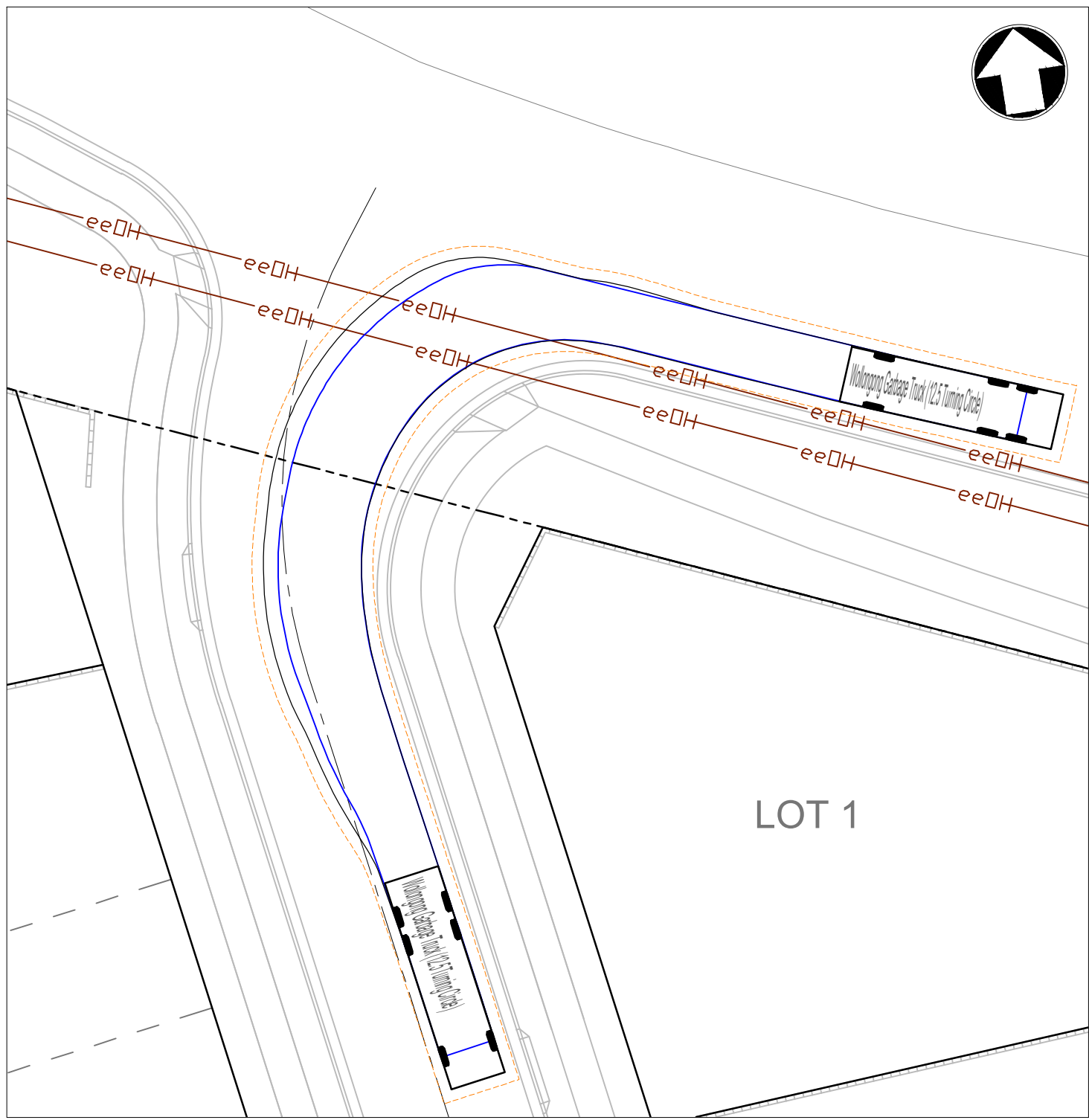
PROJECT
LANDCOM - OLD BULLI HOSPITAL
PROPOSED SUBDIVISION
27-29 HOSPITAL ROAD, BULLI

DRAWING TITLE
SIGNAGE AND LINEMARKING PLAN

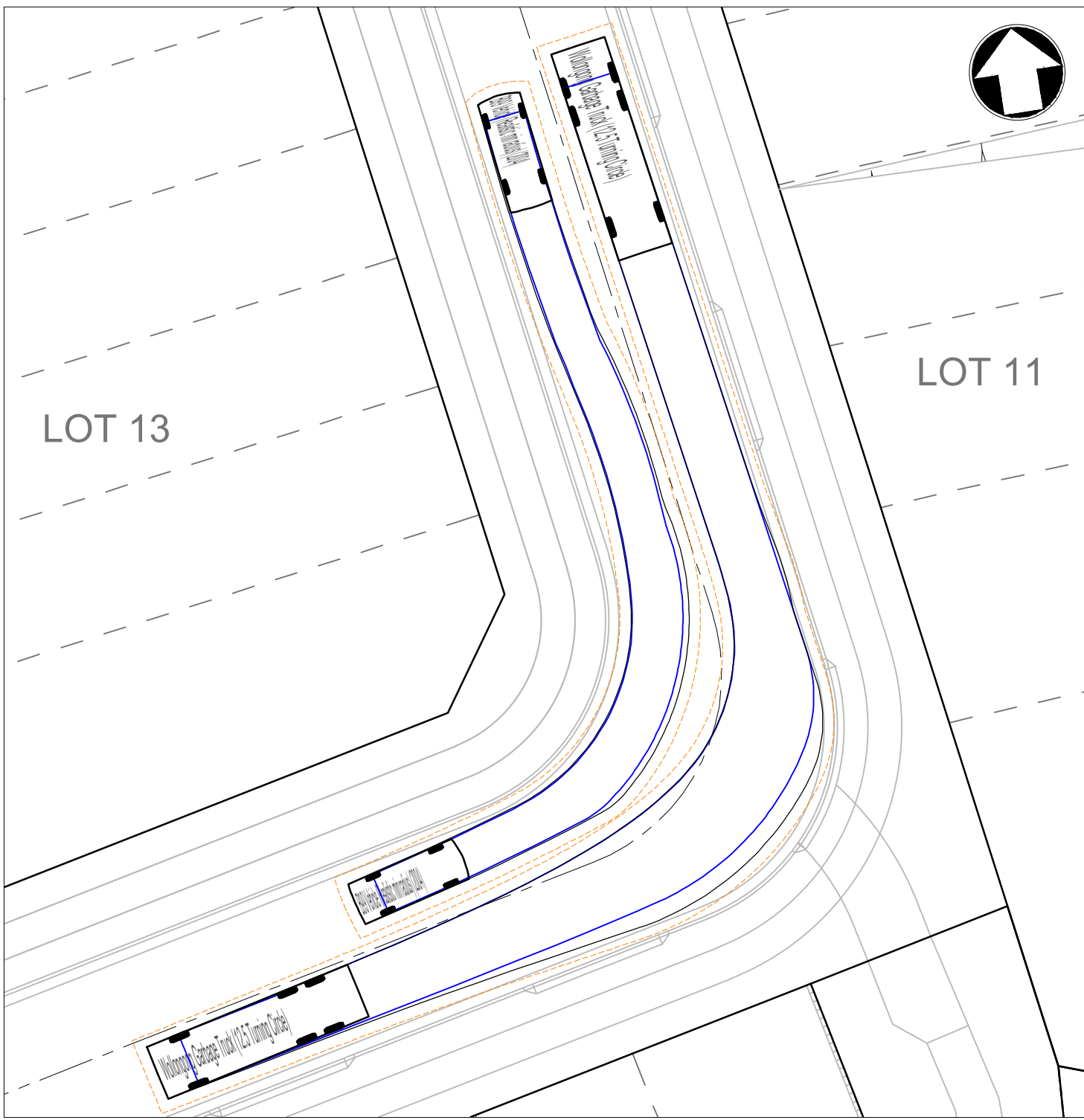
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DRAWING NO.	22-526-DA-C250	REV	G



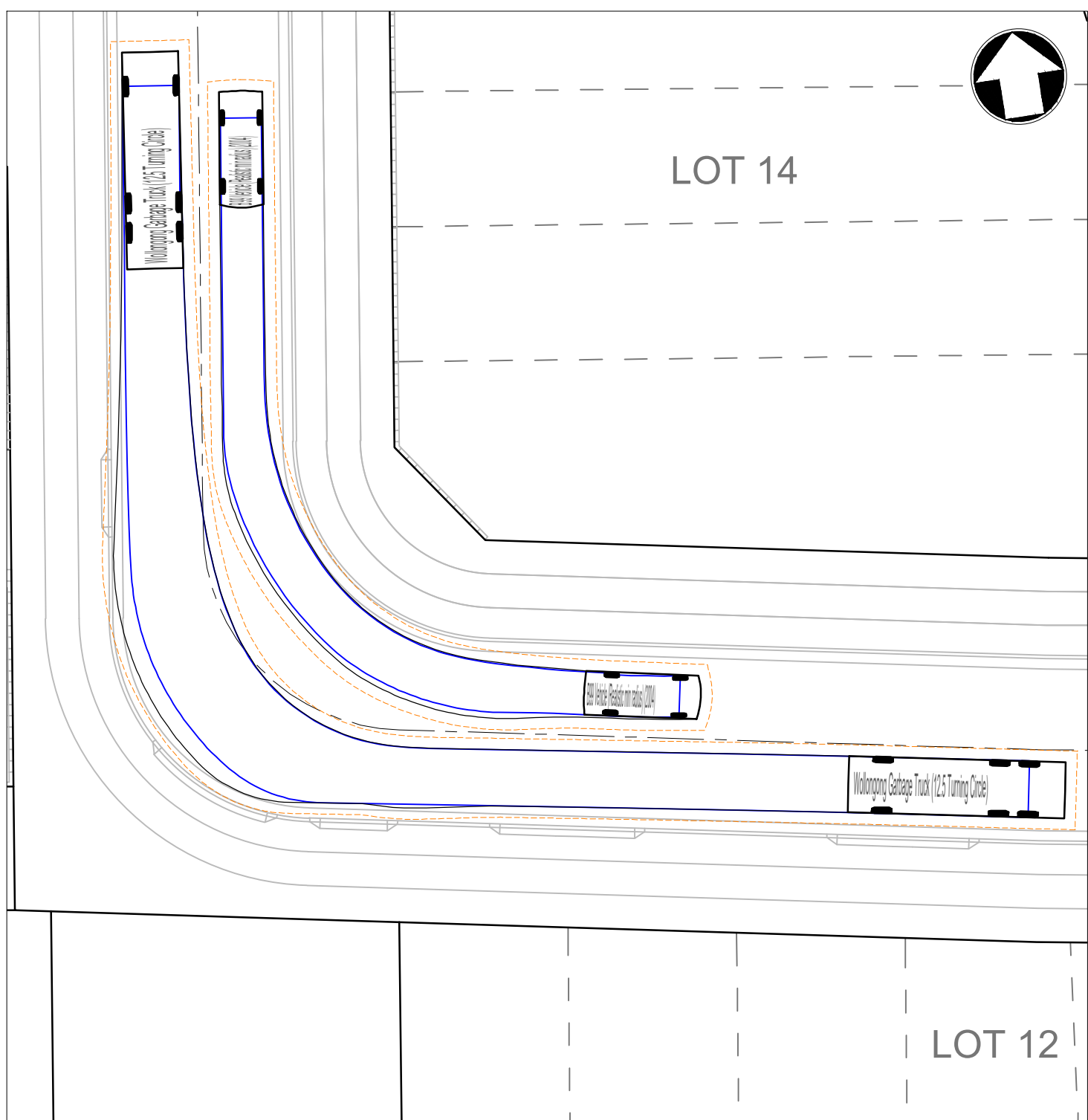
KEY PLAN
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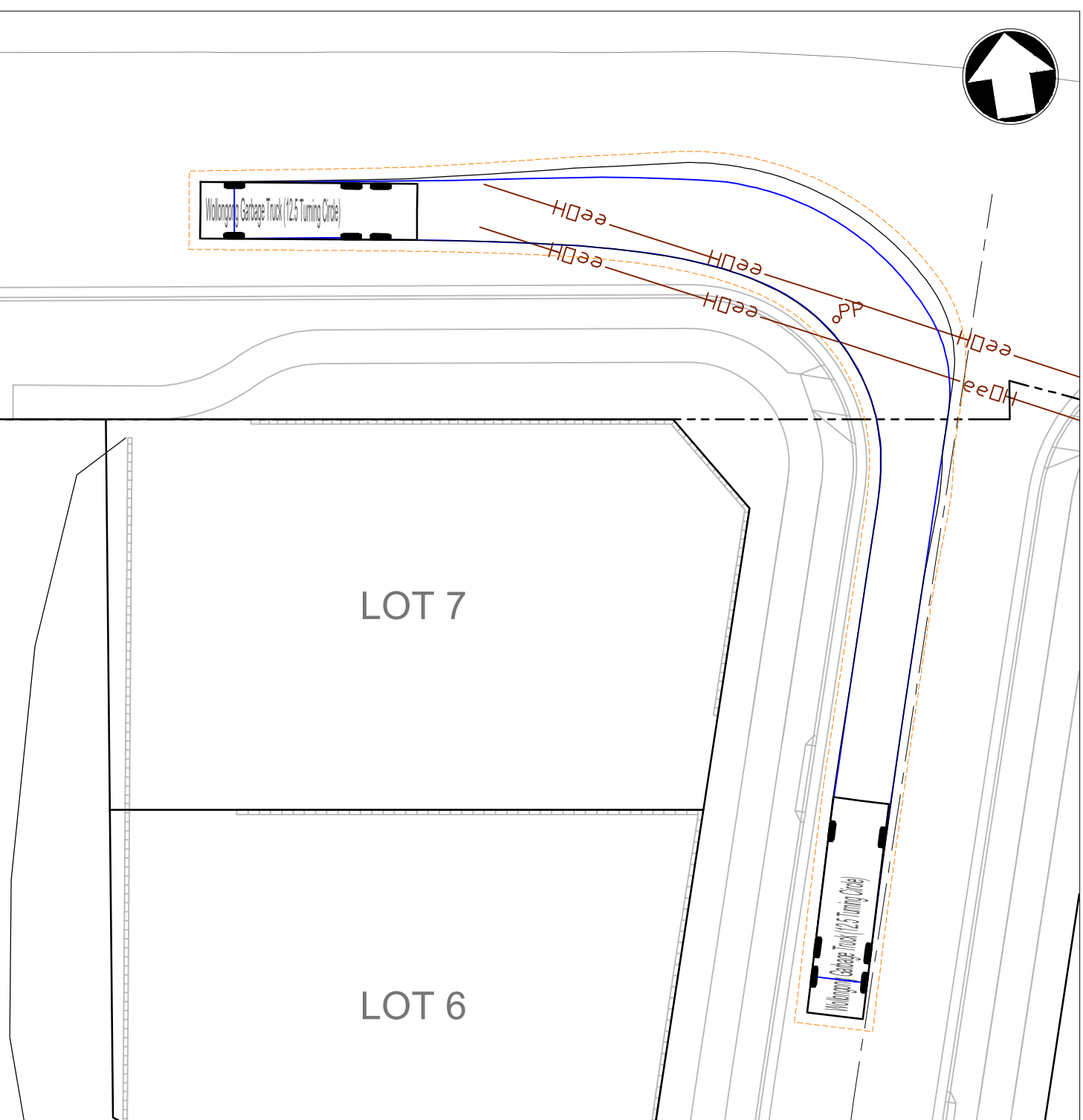
INSET A
1:250



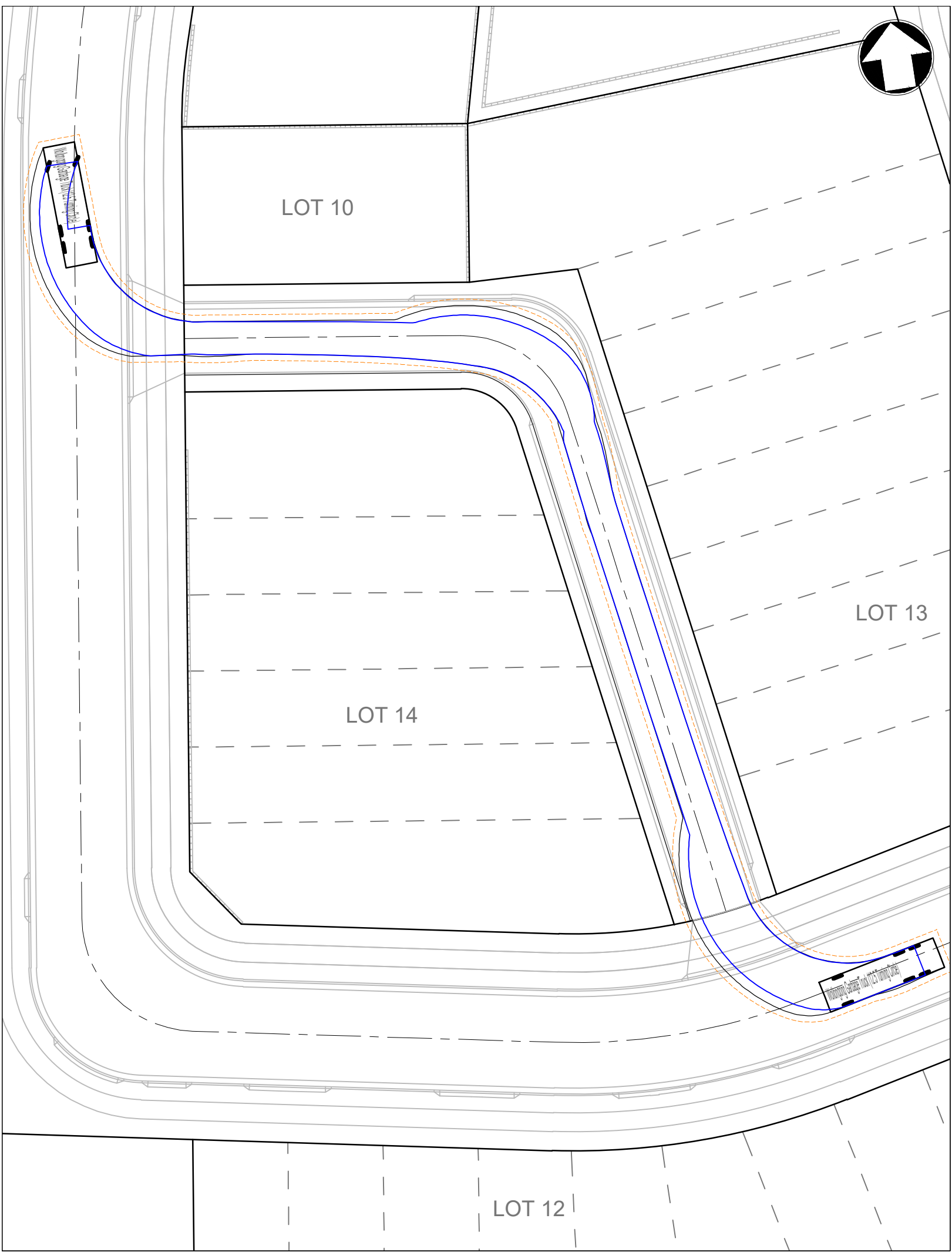
INSET B
1:250



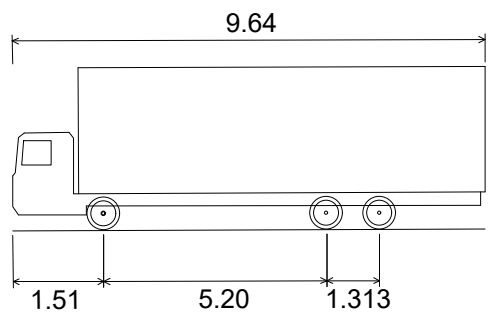
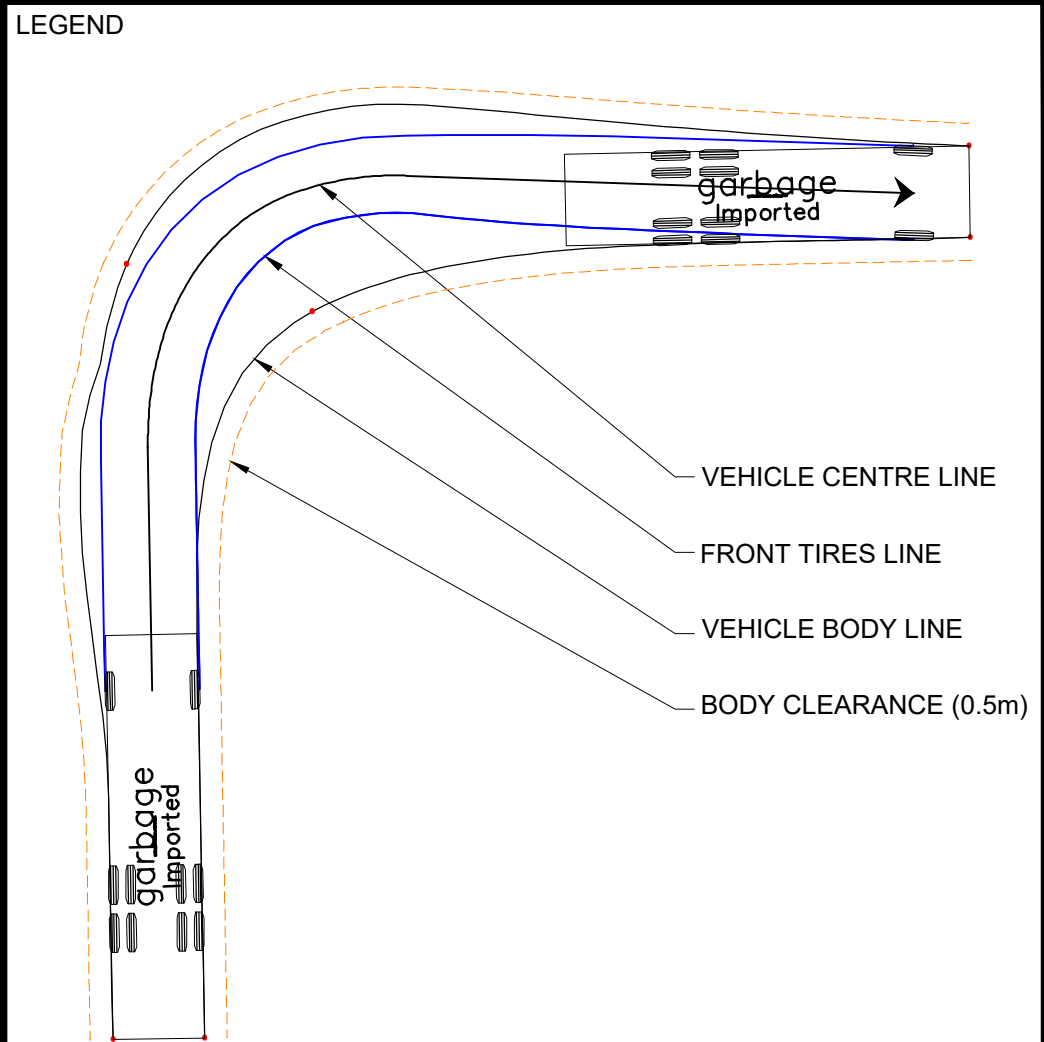
INSET C
1:250



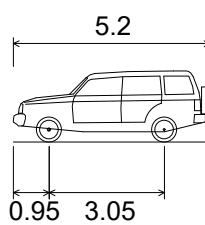
INSET D
1:250



INSET E
1:350



WOLLONGONG COUNCIL GARBAGE TRUCK(12.5 Turning Circle)	
OVERALL LENGTH	9.640m
OVERALL WIDTH	2.500m
OVERALL BODY HEIGHT	3.752m
MIN BODY GROUND CLEARANCE	0.304m
TRACK WIDTH	2.500m
LOCK-TO-LOCK TIME	6.00s
CURB TO CURB TURNING RADIUS	12.500m



B99 VEHICLE (REALISTIC MINIMUM RADIUS)	
OVERALL LENGTH	5.200m
OVERALL WIDTH	1.840m
OVERALL BODY HEIGHT	1.878m
MIN BODY GROUND CLEARANCE	0.272m
TRACK WIDTH	1.840m
LOCK-TO-LOCK TIME	4.00s
CURB TO CURB TURNING RADIUS	6.2500m

Rev	Date	Description	Drawn	Appr
G	03.10.24	RE-ISSUED FOR DA	VT	DR
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e admin@idcaus.com
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PROJECT
**LANDCOM - OLD BULLI HOSPITAL
PROPOSED SUBDIVISION
27-29 HOSPITAL ROAD, BULLI**

DRAWING TITLE
VEHICLE SIMULATION PLAN

SCALE	1:250	STATUS	DA
DRAWING NO.	22-526-DA-C255	REV	G

NOTE:
EXISTING SERVICE LOCATIONS AS SHOWN ON THIS DRAWING HAVE BEEN TRACED FROM A COMBINATION OF DETAILED SITE SURVEY AND BYDA DATA AND ARE INDICATIVE ONLY. CONTRACTOR TO VERIFY LINE AND LEVEL OF ALL EXISTING SERVICES ON SITE PRIOR TO COMMENCEMENT OF WORKS

EXISTING DN375 GRP WATER MAIN

EXISTING DN375 C1CL WATER MAIN

EXISTING OVERHEAD ELECTRICAL TO BE UNDERGROUNDED AS PART OF PROPOSED WORKS. DETAILS TO BE CONFIRMED DURING DETAILED DESIGN PHASE

EXISTING DN375 C1CL WATER MAIN TO BE RELOCATED TO SUIT PROPOSED WORKS. DETAILS TO BE CONFIRMED DURING DETAILED DESIGN PHASE

EXISTING NBN / TELSTRA TO BE RELOCATED TO SUIT PROPOSED WORKS. DETAILS TO BE CONFIRMED DURING DETAILED DESIGN PHASE

EXISTING DN225 VC SEWER MAIN

EXISTING DN375 C1CL WATER MAIN

EXISTING DN500 C1CL WATER MAIN

EXISTING Ø375 WATER MAIN TO BE RELOCATED TO SUIT PROPOSED WORKS

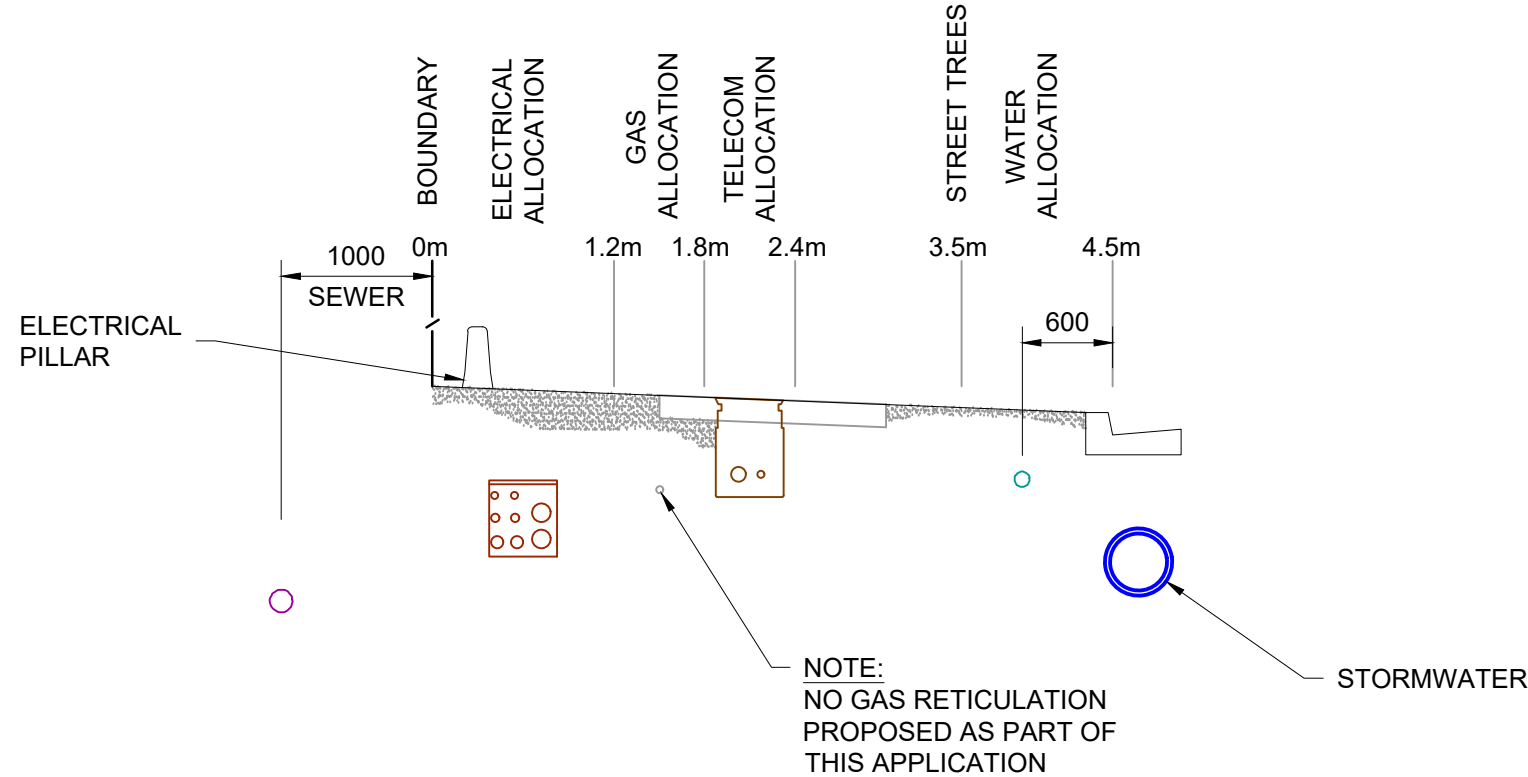
STORMWATER

EXISTING TELECOM TO BE RELOCATED TO SUIT PROPOSED WORKS

NOTE:
NO GAS RETICULATION PROPOSED AS PART OF THIS APPLICATION

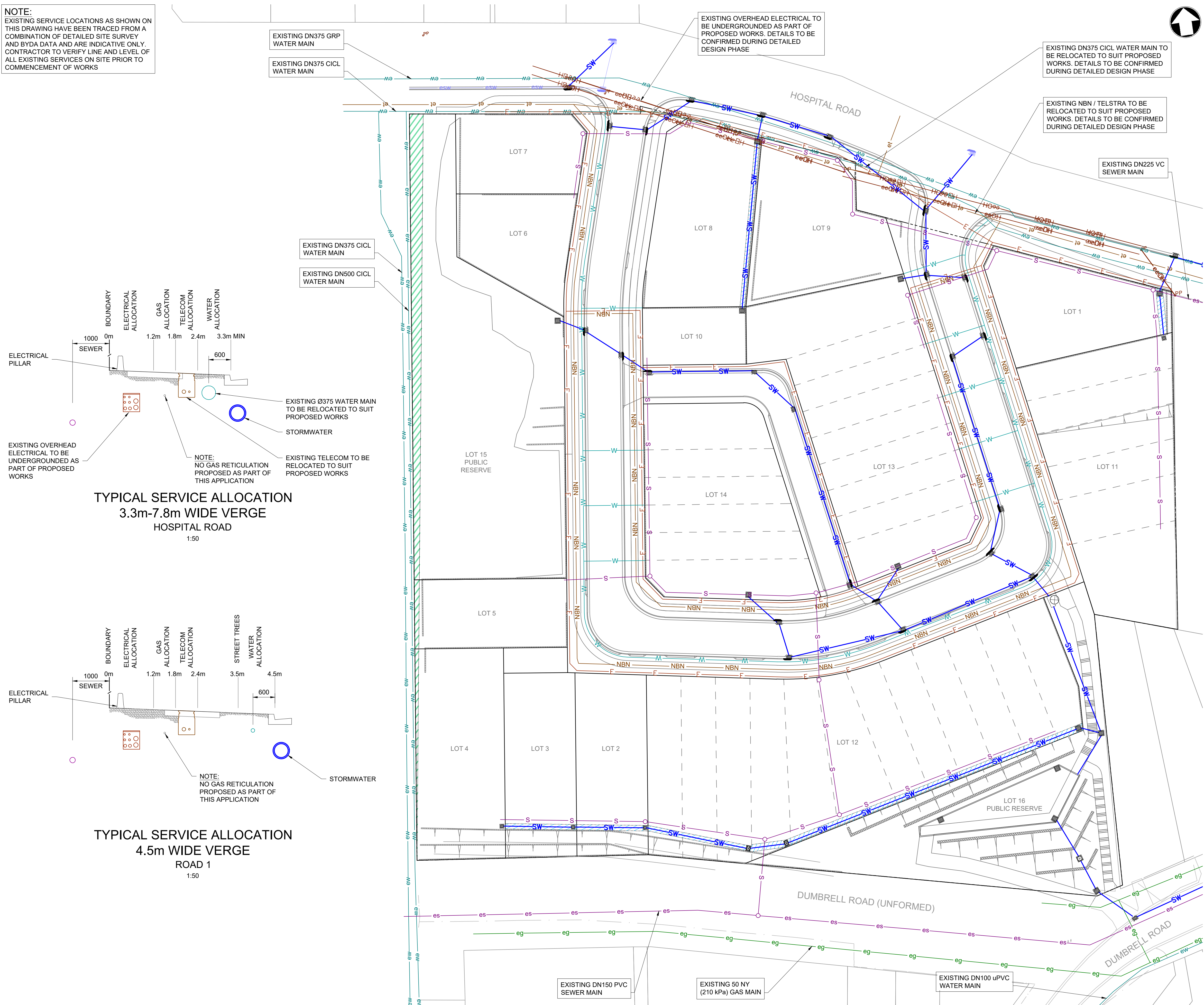
TYPICAL SERVICE ALLOCATION 3.3m-7.8m WIDE VERGE HOSPITAL ROAD

1:50



TYPICAL SERVICE ALLOCATION 4.5m WIDE VERGE ROAD 1

1:50



LEGEND

LEGEND

eg	EXISTING GAS
ee	EXISTING ELECTRICAL
eeOH	EXISTING ELECTRICAL (OVERHEAD)
et	EXISTING TELECOM
es	EXISTING SEWER
esw	EXISTING STORMWATER
ew	EXISTING WATER
E	PROPOSED ELECTRICAL
S	PROPOSED SEWER
SW	PROPOSED STORMWATER
W	PROPOSED WATER
NBN	PROPOSED NBN
	EXISTING WATER EASEMENT TO BE MAINTAINED AS PART OF PROPOSED WORKS

NOTE:
PROPOSED SEWER, POTABLE WATER, NBN AND ELECTRICAL RETICULATION AS SHOWN ON THIS PLAN HAS BEEN PROVIDED FOR INFORMATION AND IS INDICATIVE ONLY. FINAL LAYOUT TO BE CONFIRMED DURING SUBSEQUENT DETAILED DESIGN PHASE FOLLOWING SERVICE AUTHORITY REVIEW AND APPROVAL

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E	14.05.24	RE-ISSUED FOR DA	VT	DR
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Sydney, NSW 2000
e admin@idcaus.com
w www.idcaus.com

PROJECT
**LANDCOM - OLD BULLI HOSPITAL
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DRAWING TITLE
COMBINED SERVICES PLAN

SCALE 1:400 STATUS DA

DRAWING NO. 22-526-DA-C300 REV F